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9-11 Thallon Street, Carlingford

# Feasibility concept

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Suite 1 & 2, Level 5 Grafton Bond Building 201 Kent St, Sydney NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

Feasibility concept

SW Developments Pty Ltd

**COVER SHEET** 21-085 DA-0-001 G 08/09/2022 NOT TO SCALE



THALLON STREET APARTMENTS

7% of the total site area, minimum 6m

Adress: 9-11 Thalon Street, Carlingford

DR Project No.:

Parramatta (former The Hills) LEP 2012 Land zoning: R1 - General Residential FSR: Height Limit:

The Hills Council DCP 2012. Part D Section 12 Carlingford Precinct Setbacks: roposed: Front Setback: 6 meters 6 meters Rear Setback: 6 meters 6 meters Side Setbacks: As per ADG 3 meters & 9 meters Adaptable Units: 5% 5 units 6 units Livable Units: 20 % 18 units 24 units 15% of the total site area. no minimum dimension 476 m<sup>2</sup> 795 m<sup>2</sup> Deep soil:

222 m<sup>2</sup>

320 m<sup>2</sup>

Deep Soil as per ADG:

Project Site Details
Site area: 3,173 m<sup>2</sup> Available maximum GFA: 6,314 m<sup>2</sup>

		Parking			GFA calculations			Unit type			
Level											Total
	Car	Motor bike	Bicycle	Retail	Restaurant	Residential	1BD	2BD	3BD	4BD	
Rooftop						19 m²					
Level 11						843.0 m <sup>2</sup>		3	4	1	8
Level 10						843.0 m <sup>2</sup>		3	4	1	8
Level 9						843.0 m <sup>2</sup>		3	4	1	8
Level 8						843.0 m <sup>2</sup>		3	4	1	8
Level 7						843.0 m <sup>2</sup>		3	4	1	8
Level 6						843.0 m <sup>2</sup>		3	4	1	8
Level 5						843.0 m <sup>2</sup>		3	4	1	8
Level 4						843.0 m <sup>2</sup>		3	4	1	8
Level 3						916.0 m <sup>2</sup>		6	2	1	9
Level 2						916.0 m <sup>2</sup>		6	2	1	9
Level 1						914.0 m <sup>2</sup>		7	1	1	9
Ground Floor	10	3	30	60.0 m <sup>2</sup>	244.0 m <sup>2</sup>	123.0 m <sup>2</sup>					
Basement 1	46	0	4								
Basement 2	49	0	4								
Basement 3	29	0	4								
Total	134	3	42	60.0 m <sup>2</sup>	244.0 m <sup>2</sup>	9,632.0 m <sup>2</sup>	0	43	37	11	91

Proposed residential yield:	91 units			
Proposed unit mix:				
- Studio units:	0 units	= 0 %		
- 1 Bedroom units:	0 units	= 0 %		
- 2 Bedroom units:	43 units	= 47 %		
- 3 Bedroom units:	37 units	= 41 %		
- 4 Bedroom units:	11 units	= 12 %		
Proposed GFA:	9,936.0 m <sup>2</sup>			
Proposed FSR:	3.13:1		929	
Parking:	Required:		Proposed:	
- Car spaces:	134 spaces		134 spaces	
- Motor bike spaces:	3 spaces		3 spaces	
- Bicycle spaces:	39 spaces		42 spaces	
- Car wash:	1 space		1 space	

CAR PARKING REQUIREMENTS					
RMS - Metropolitan Sub-Regional Centres					
Туре	Rate	Unit count	Total		
Residential	-	-			
- Studio	0.00 per unit	0 units	0.0		
- 1 BD	0.60 per unit	0 units	0.0		
- 2 BD	0.90 per unit	43 units	39		
- 3 BD	1.40 per unit	37 units	52		
- 4 BD	1.40 per unit	11 units	15		
Visitor	1 per 5 units	91 units	18		
Total	_		124		

The Hills Council DCP 2012. Part D Section 12 Carlingford Precinct					
Туре	Rate	unit count	Total		
Commercial	1 per 25 m²	0 m <sup>2</sup>	0.0		
Retail	1 per 18 m <sup>2</sup>	60 m <sup>2</sup>	4		
Restaurant	1 per 5 seats	30 seats	6.0		
Total	**		10		

	Other p	parking requirements	
	Apartment Des	sign Guide (Objective 3J-2)	
	Parking and facilities are	provided for other modes of transpor	ţ
Bicycle	-		
Residential	1 per 3 units	91	30
Visitor	1 per 10 units	91	9
Total			39
	City of Parramatta Council (for	ormer The Hills Shire Council) DCP 20	12
Motorbike	1 per 50 car spaces	134	3
Car wash	1 per development	1	1

Ongoing waste calculations  Better Practice Guide for Waste Management in Multi-unit Dwellings (MUD)						
Туре	Rate	Count	Vol./week	Compacted	Bin req.	1 * week collection
Retail (Non-food	d sales - over 100m²)			7		ž.
- General	50 L/100 m <sup>2</sup> /week	60 m <sup>2</sup>	30 L/week	NA	0.0 x 1,100L bin	0.0 x 1,100L bin
- Recycle	50 L/100 m <sup>2</sup> /week	60 m <sup>2</sup>	30 L/week	NA	0.0 x 1,100L bin	0.0 x 1,100L bin
Restaurant						
- General	400 L/100 m <sup>2</sup> /week	229 m <sup>2</sup>	916 L/week	NA	1 x 1,100L bin	1 x 1,100L bin
- Recycle	280 L/100 m <sup>2</sup> /week	229 m <sup>2</sup>	641 L/week	NA	1 x 1,100L bin	1 x 1,100L bin
Residential						
- General	80 L/unit/week	91 units	7,280 L/week	NA	7 x 1,100L bin	7 x 1,100L bin
- Recycle	40 L/unit/week	91 units	3,640 L/week	NA	3 x 1,100L bin	3 x 1,100L bin

#### Parramatta (former The Hills) LEP 2012 Gross Floor Area (GFA) definition:

oss floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the ernal face of walls seperating the building from any other building, measured at a height of 1.4 meters above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic,

- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement:
- (ii) Vehicular access, loading areas, garbage and services, and
- (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (h) any space used for the loading and or unloading of goods (including access to it), and (i) terraces and balconies with outer walls less than 1.4 metres high, and
- j) voids above a floor at the level of a storey or storey above.

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Suite 1 & 2, Level 5 Grafton Bond Building 201 Kent St, Sydney NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

Dickson Rothschild	Nominated Architects:	KEV	DESCRIPTION	DATE	ISSUED	CHECKED
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ABN: 35 134 237 540		F	ISSUE FOR DA SUBMISSION	19/08/2022	LF	AV
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	orm to relevant Australian Standards and other Codes as applicable, together with					
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DESCRIPTION

THALLON STREET APARTMENTS **PROJECT SUMMARY** 9-11 Thallon Street, Carlingford 21-085 DA-0-002 G 08/09/2022 SW Developments Pty Ltd DRAWN RM



### BASIX Thermal Specification - 9-11 Thallon St, Carlingford NSW

Element	Construction	Details
Roof / Ceilings	91-191-19-1	Medium colour (0.475 ≤ solar absorptance ≤ 0.7), as per plans
	Concrete roof slab + R3.0 bulk ceiling insulation + Plasterboard (PB)	Applicable to top floor units including Units 11.01-11.08
	Concrete roof slab + R2.0 bulk ceiling insulation + PB	Applicable to all other relevant units except for those mentioned above
		Note concrete roof slabs may include non-trafficable concrete flat roofs trafficable concrete flat roofs (e.g. rooftop gardens) and balcony slabs above the habitable areas of individual units
Internal ceilings (where conditioned areas present above and below)	Concrete slab + PB ceiling without insulation	Applicable to all internal ceilings
External walls		Light colour (solar absorptance < 0.475)
		Medium colour (0.475 ≤ solar absorptance ≤ 0.7) external finishes
	Brick veneer + R2.0 bulk insulation	Applicable to all units on Levels 1 – 3, as per plans
		Dark colour (solar absorptance > 0.7)
	AAC (e.g. Hebel) walls + R2.5 bulk insulation + PB	Applicable to Unit 11.05
	AAC (e.g. Hebel) walls + R2.0 bulk insulation + PB	Applicable to all other units on Levels 4 – 11, except for Unit 11.05
Internal walls	AAC (e.g. Hebel) walls + R2.5 bulk insulation on one side + PB linings on both sides	Applicable to the common walls between Unit 11.05 and the adjacent common corridors
	AAC (e.g. Hebel) walls + R2.0 bulk insulation on one side + PB linings on both sides	Applicable to the common walls between the following units (including Units 1.06, 1.07, 2.06, 3.05, 3.06, 4.05, 8.05, 9.05, 10.05 & 11.06) and the common corridors
	AAC (e.g. Hebel) walls + PB linings on both sides	Applicable to the common walls in between units, and the common walls between all
	without insulation Concrete (formwork, e.g. Dincel / AFS) walls + PB	other units (except for those mentioned above) and the adjacent common corridors Applicable to the common walls between the units and the common spaces including
	linings on both sides without insulation PB stud walls + R2.0 bulk insulation	fire stairs and lift shafts  Applicable to the internal walls between the kitchen, living and hallway areas (daytime zones), and the bedrooms including ensuites (nighttime zones) in Unit
		11.05
	PB stud walls without insulation.	Applicable to all other internal walls within units except for those mentioned above
Windows / Glazed doors	Standard aluminium frame, weather stripping fitted, single glazed, high solar gain low-e	Applicable to all windows and glazed doors in Units 1.05-1.07, 2.05-2.07, 3.05-3.07, 4.05, 4.06, 5.05, 5.06, 6.05, 6.06, 7.05, 7.06, 8.05, 8.06, 9.05, 9.06, 10.05, 10.06 & 11.04-11.06
		NFRC Glazing System (Glass + Frame) values –
		Group B (fixed and sliding types): U = 5.4 and SHGC = 0.58; Group A (awning window type and hinged door type): U = 5.4 and SHGC = 0.49
	Standard aluminium frame, weather stripping fitted, single glazed, clear	Applicable to all other windows and glazed doors except for those mentioned above
	Single glazed, clear	NFRC Glazing System (Glass + Frame) values - Group B (fixed and sliding types): U = 6.7 and SHGC = 0.70;
		Group A (awning window type and hinged door type): U = 6.7 and SHGC = 0.57
	Note that all glazing installed shall have the U value those specified above.	es not more than those specified above and the SHGC values within +/- 10% of
Skylights	N/A	
Floors	Suspended concrete floor + R2.0 floor insulation	Applicable to Unit 11.05 throughout
	Suspended concrete floor + R1.0 floor insulation	Applicable to the floors of Units 1.01, 1.08 & 1.09 immediately above the carpark and the cantilevered floors (exposed to the outside air) of Unit 1.08
	Suspended concrete floor without floor insulation	Applicable to all other floors throughout all units except for those mentioned above
	Floor coverings	Kitchen & all living areas: timber; all wet areas: tile; Bedrooms; carpet
Downlights	If to be planned, IC / IC-F rated LED downlights to be used throughout	Rating without downlights due to lighting layout plans / RCPs not available at the current stage.
		Rating with downlights (if planned) shall be required when lighting layout design is completed prior to application of construction certificate.
Exhaust fans	Exhaust fans to all wet areas	Sealed
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PROJECT
THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

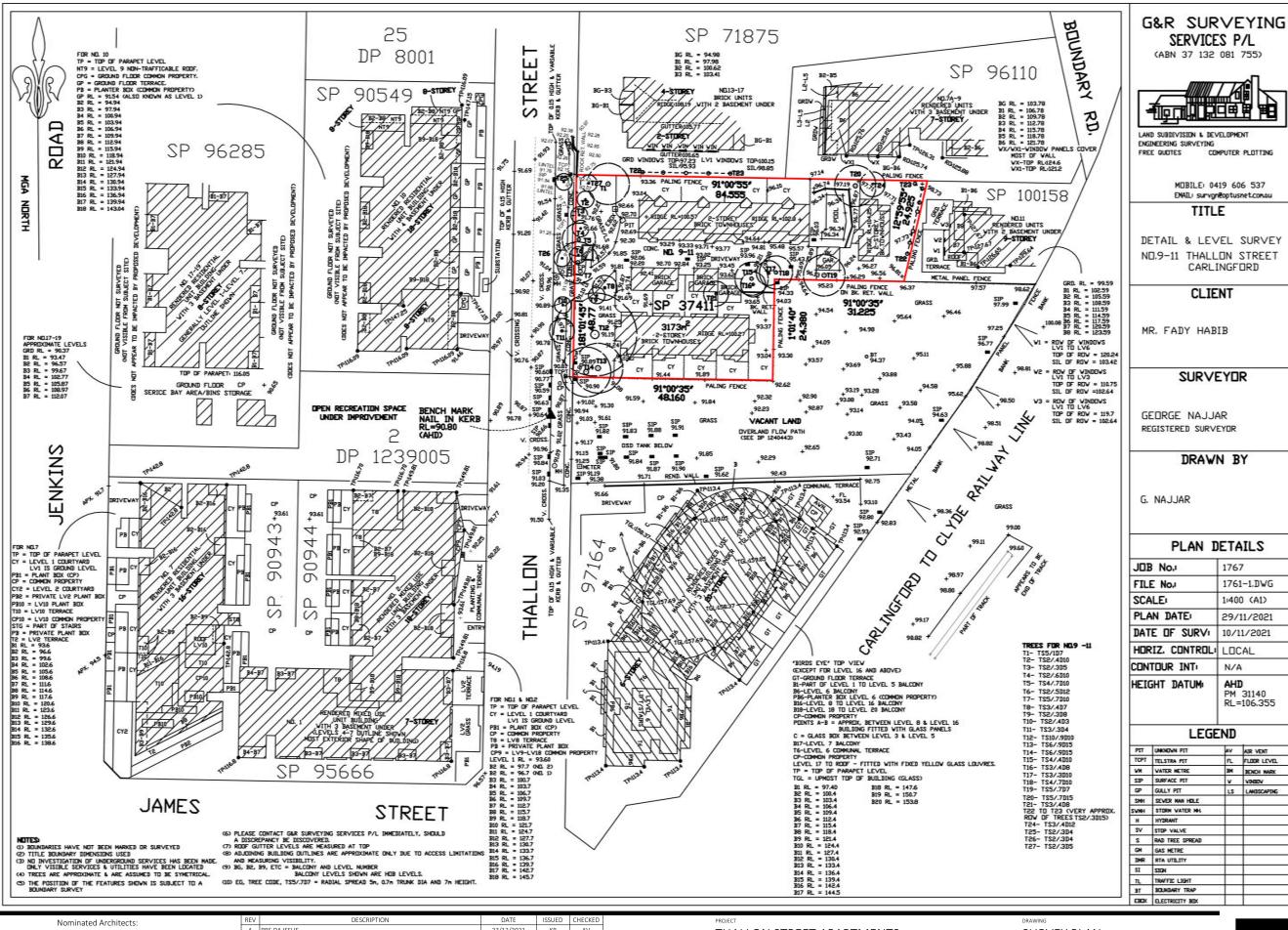
CLIENT
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BASIX THERMAL SPECIFICATION

PROJECT NO. DRAWING NO. REVISION DATE
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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

SW Developments Pty Ltd

Feasibility concept

**SURVEY PLAN** 

19/08/2022 21-085 DA-0-101 F SCALE @ A3 DRAWN NOT TO SCALE RMΑV



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AHD

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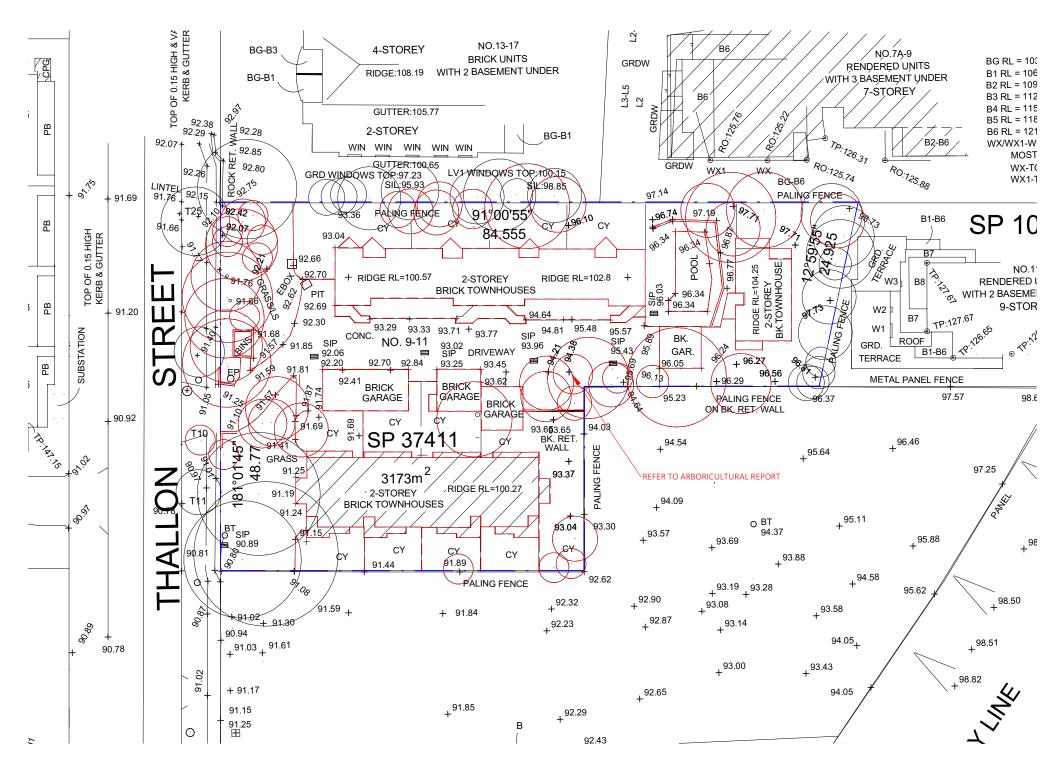
AV AIR VENT

v vooov

LS LANDSCAPING

FL FLOOR LEVEL

BM BENCH MARK



DEMOLITION PLAN 1:500



NOTES: ALL WORKS TO COMPLY WITH AS 2061-2001

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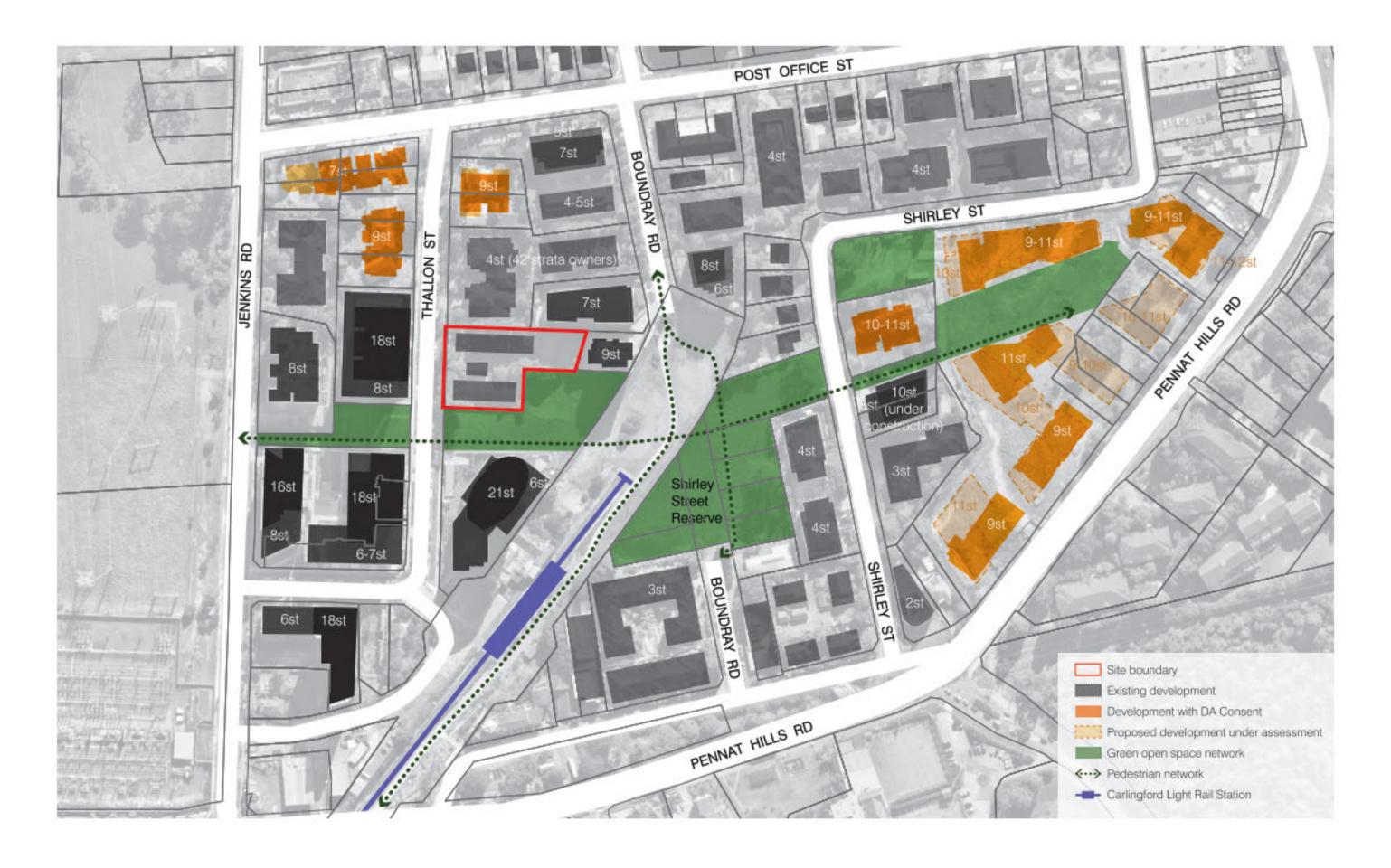


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9-11 Thallon Street, Carlingford	
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DEMOLITION PLAN						
PROJECT NO. 21-085	DRAWING NO.	REVISION F	19/08/2022			
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As		LF	AV			
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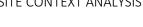
### THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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SITE CONTEXT ANALYSIS



PROJECT NO.	DRAWING NO.	REVISION	DATE
21-085	DA-0-111	F	19/08/2022
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The subject site and recent larger scale residential development in the vicinity



No. 10 Thallon Street - Stepped tower form with 8st podium defining the northern edge of the public open space.



No. 16-24 Thallon Street - 7-9st residential development (DA Consent).



Increased density development towards the Light Rail Station



No. 13-17 Thallon Street - 4st strata-titled development (42 strata owners) to the north of the site with limited redevelopment potential.



No. 8-10 Boundary Rd - 8st (6st podium) residential development to the northeast of the subject site.



No. 5 Thallon Street (20st) - 6st podium with tower above



No. 19 Thallon Street - 9st residential development (DA Consent) with 4st street wall height in response to the neighbouring residential development with limited redevelopment potential.



No. 9 & 11 Boundary Rd - 7 & 9st residential development to the immediate north-east and east of the subject site.

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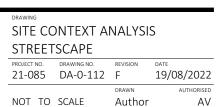
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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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Feasibility concept



Author





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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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FSR AND HEIGHT MAP

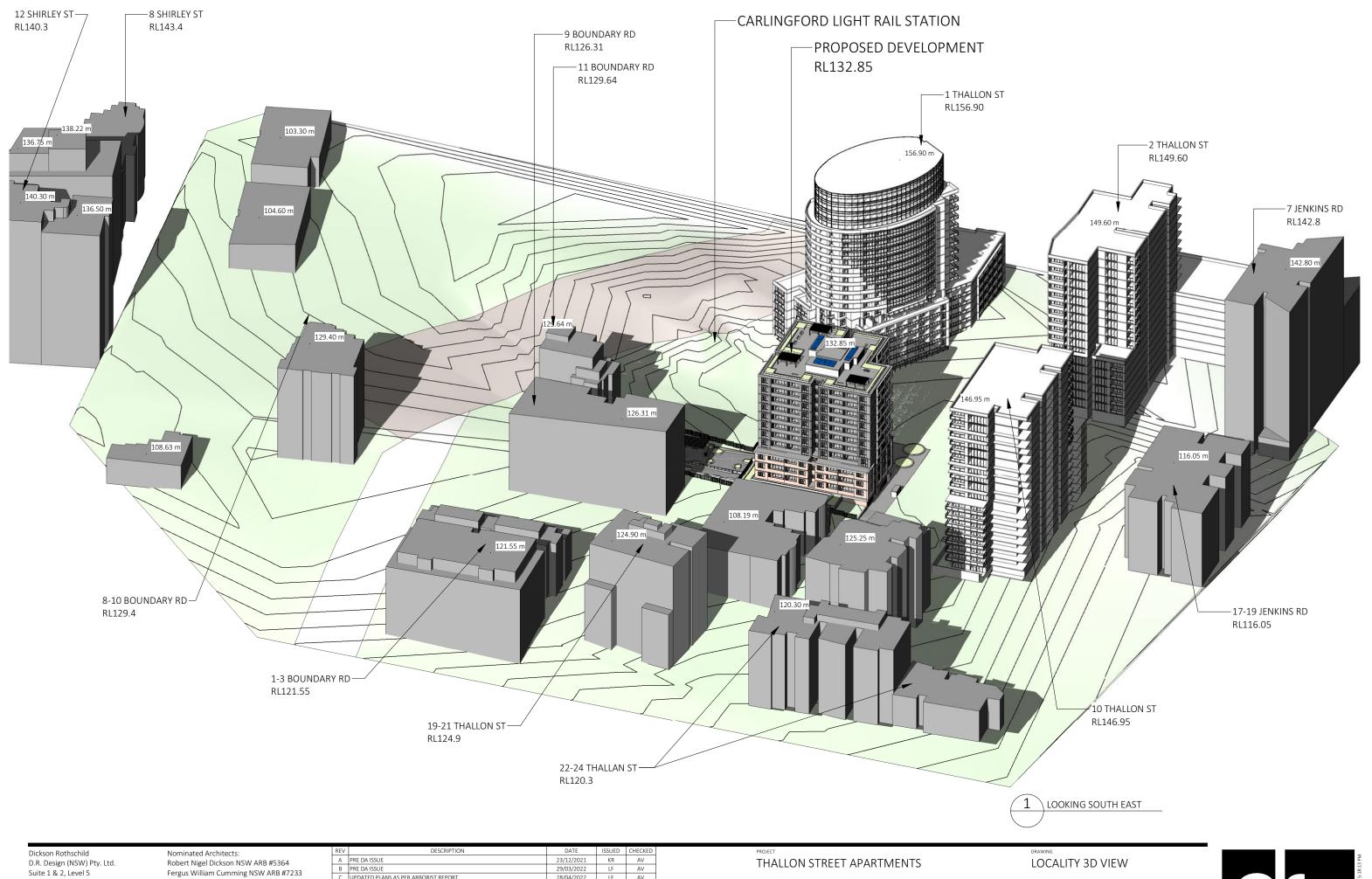
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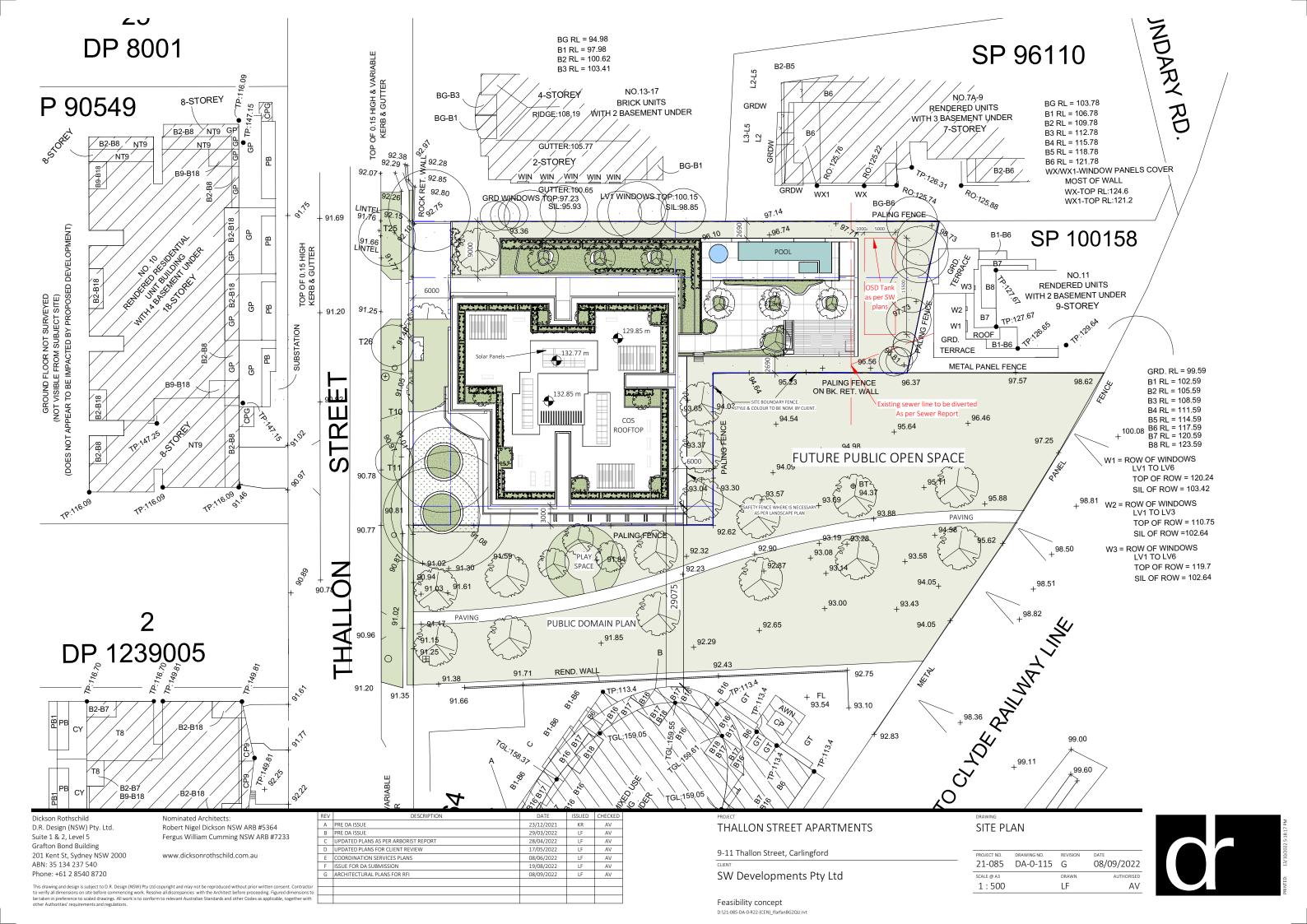
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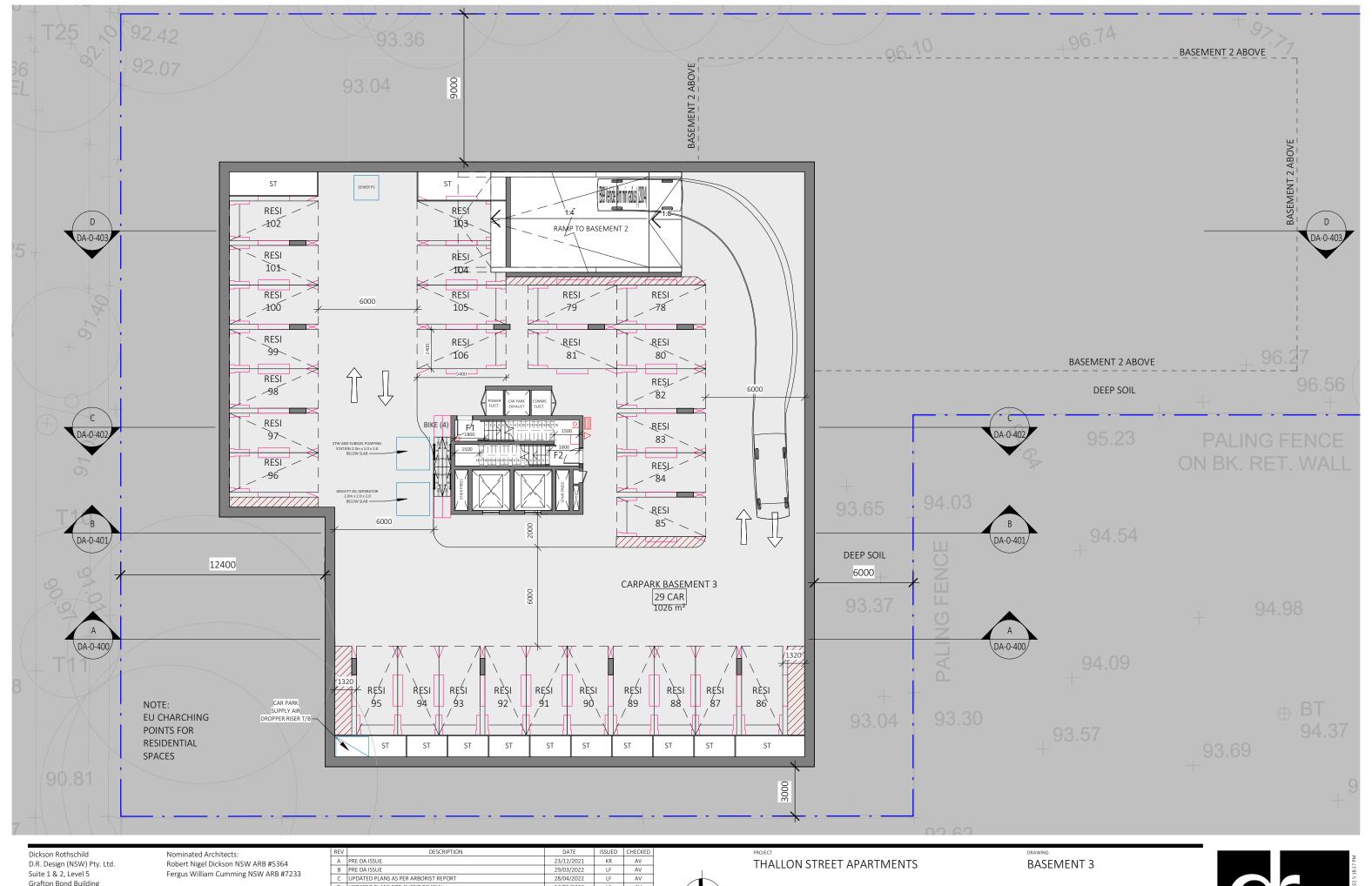
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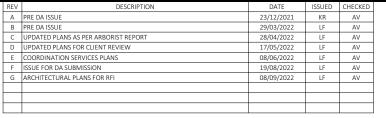






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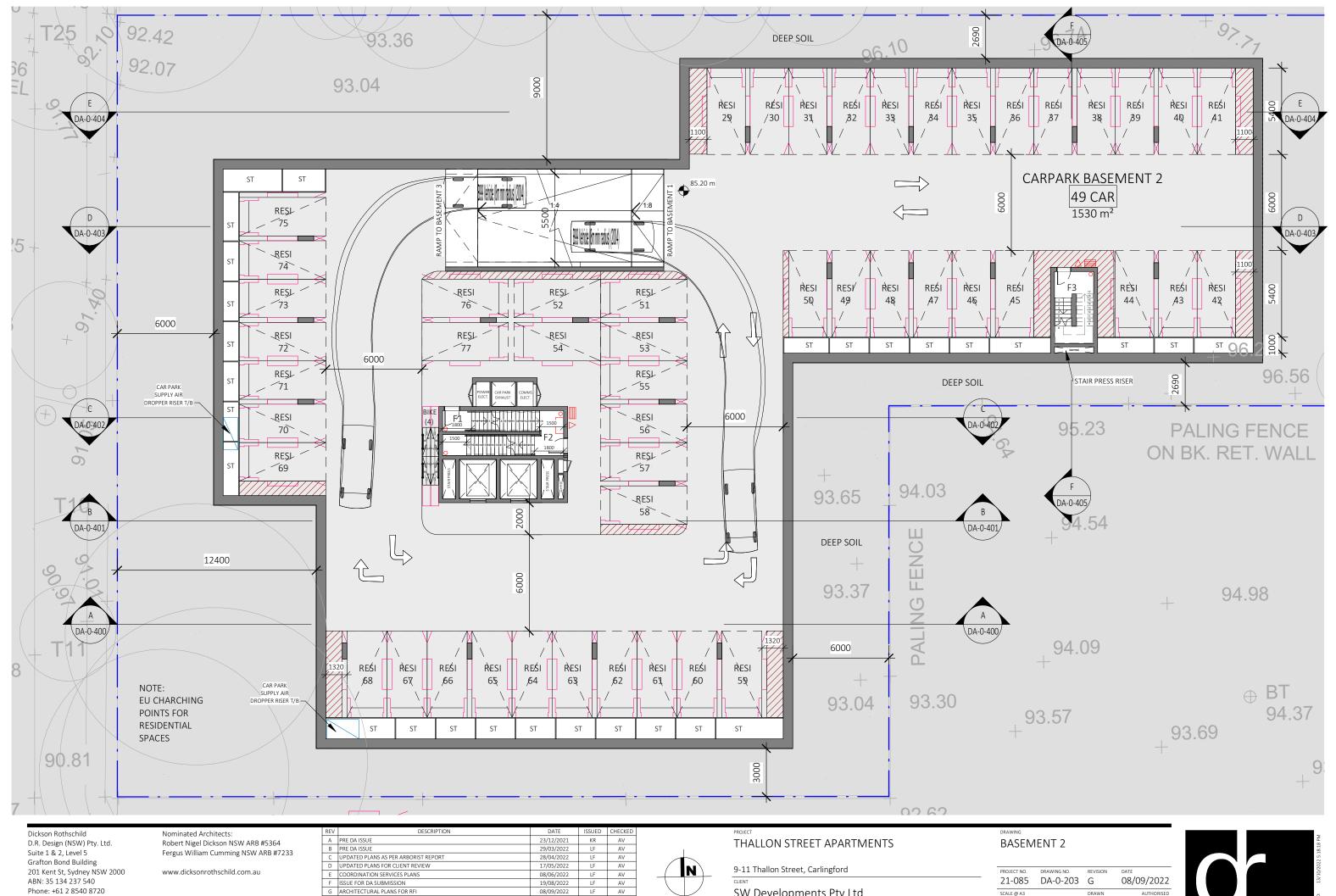
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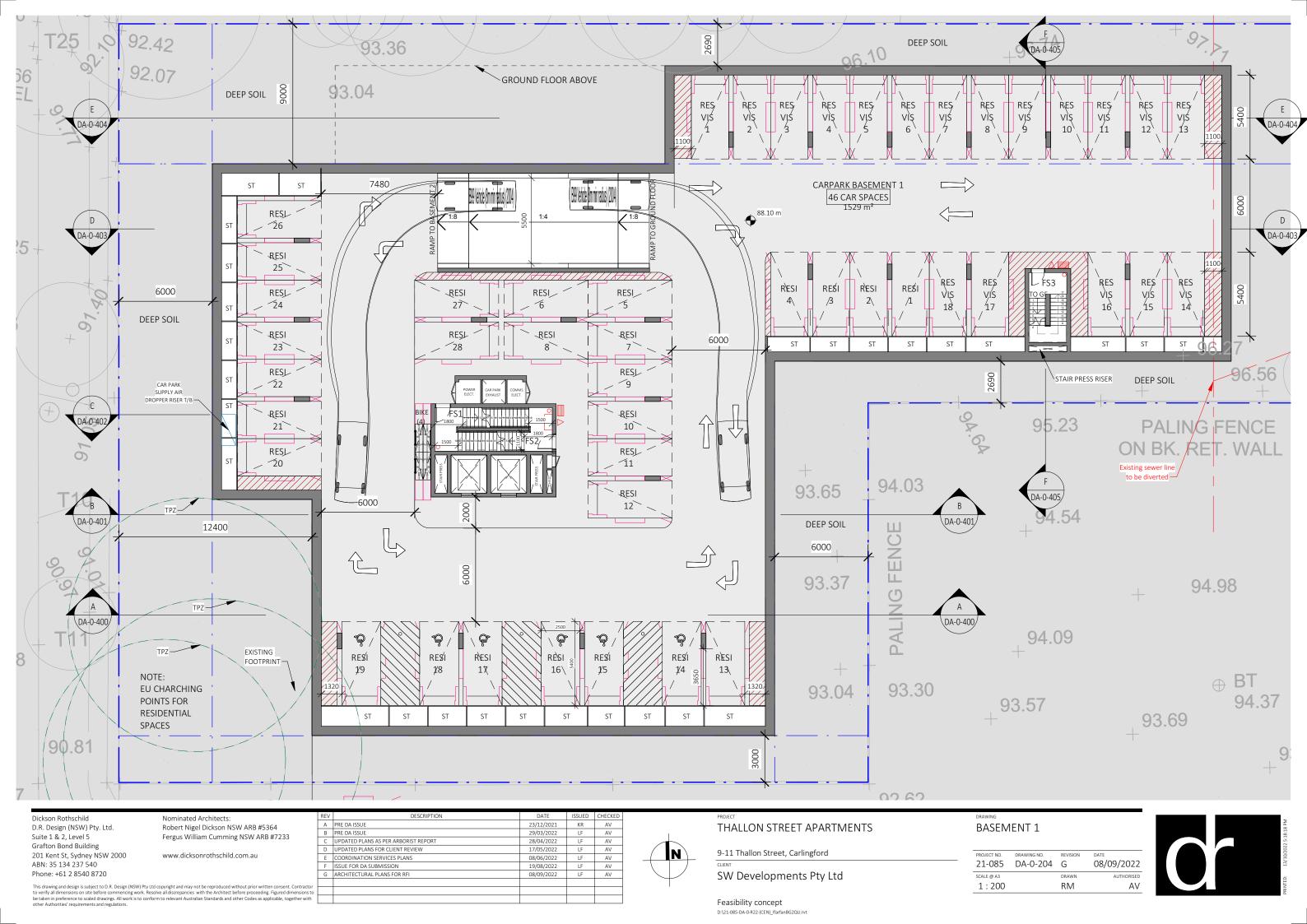
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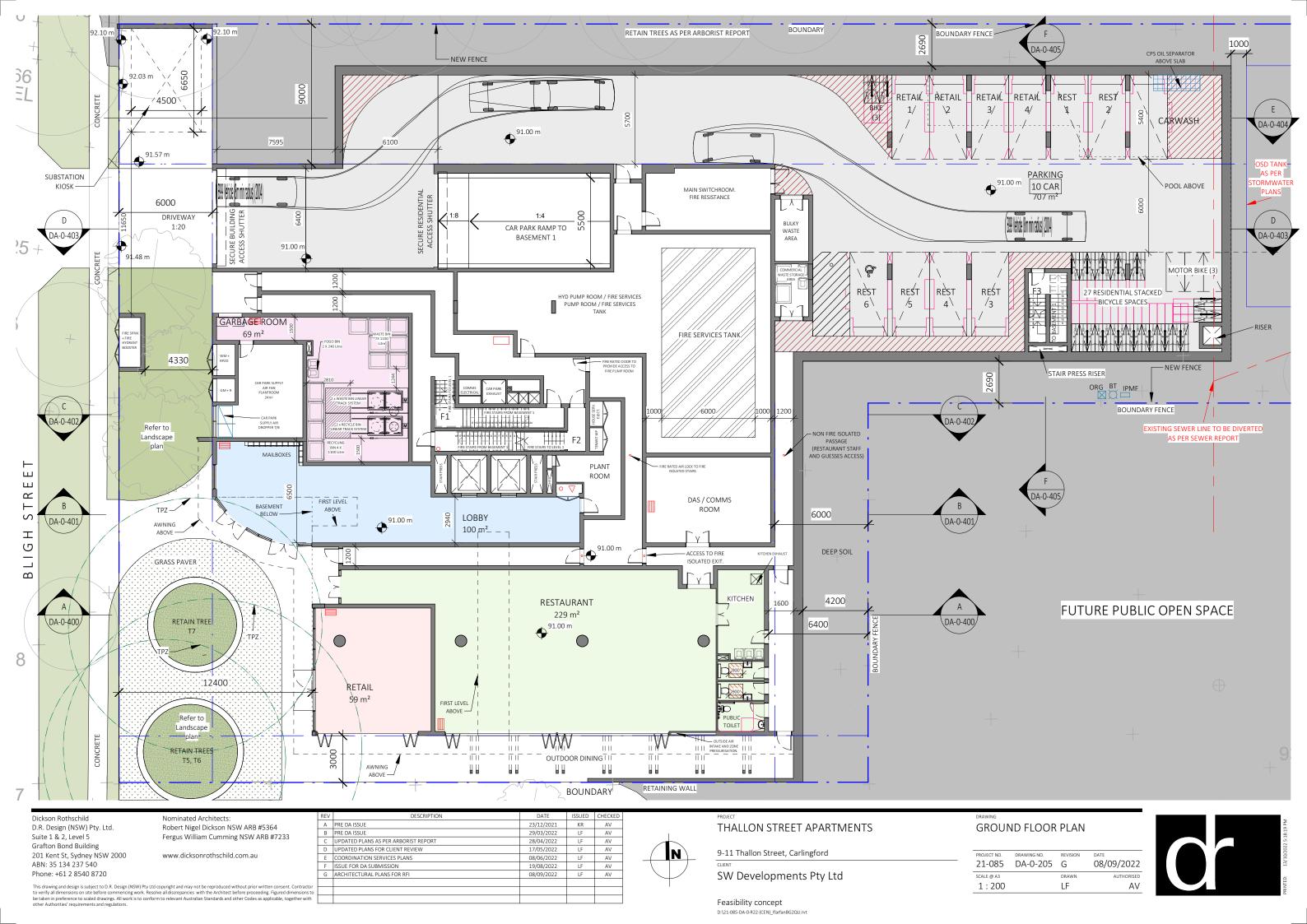
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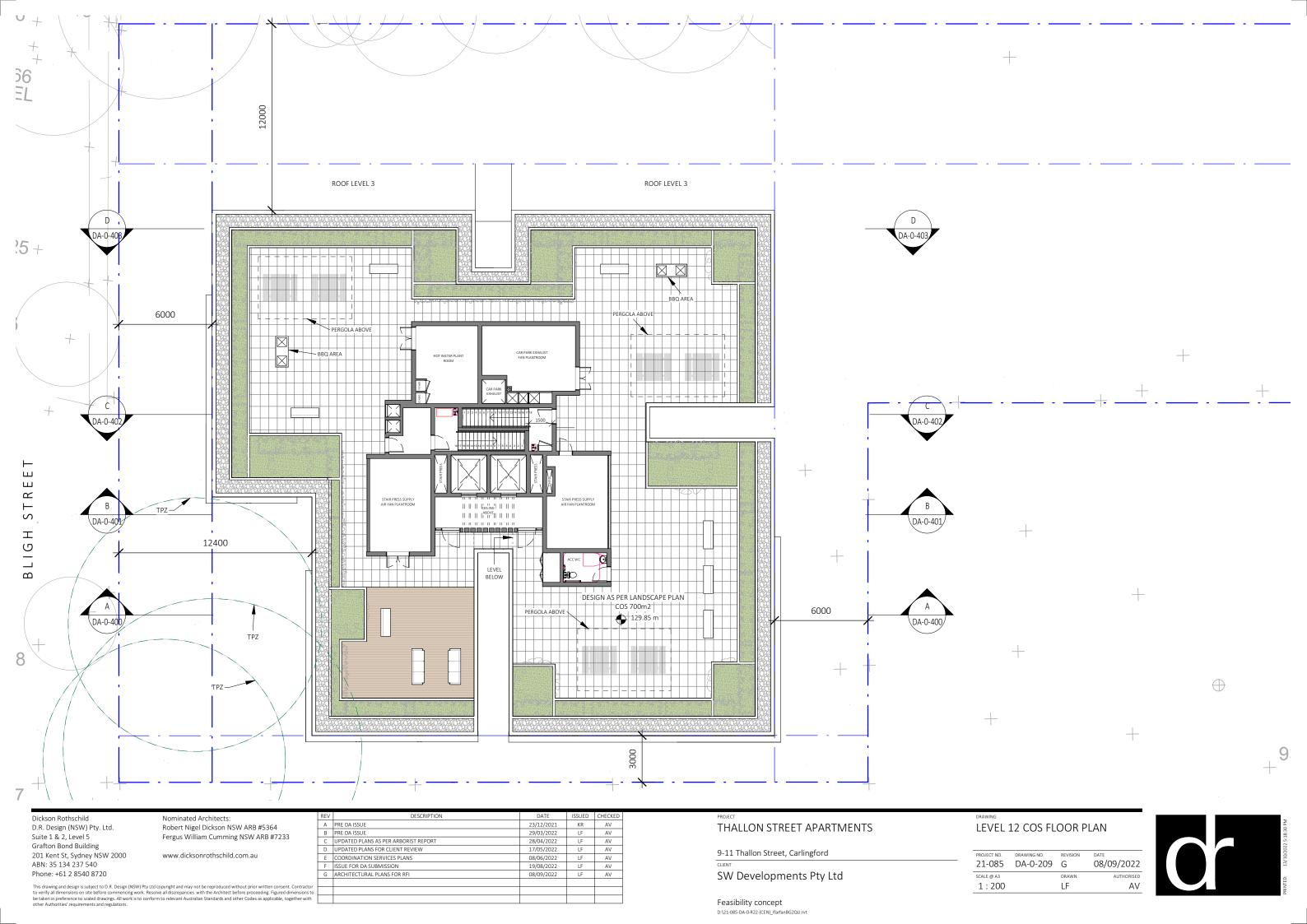
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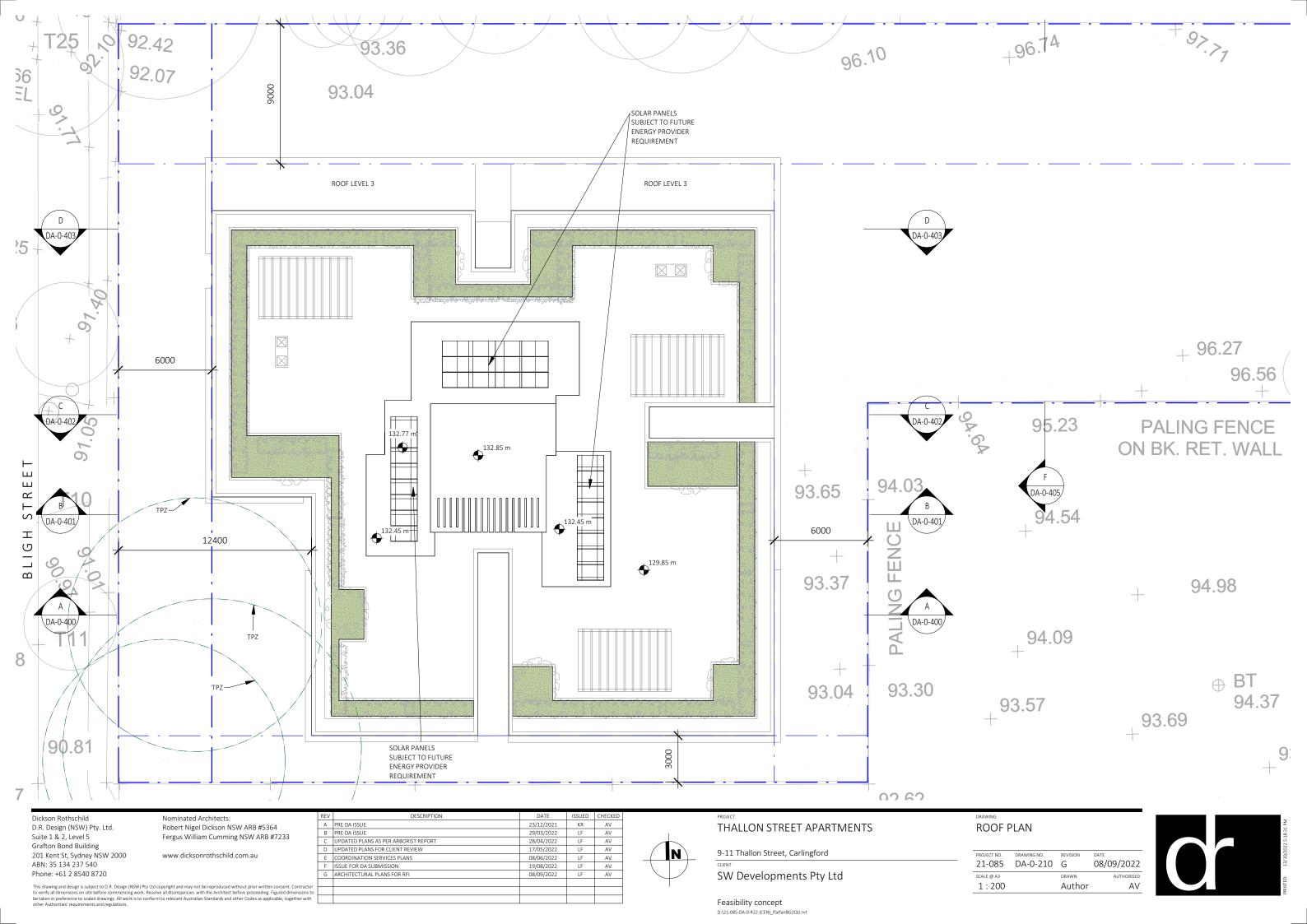
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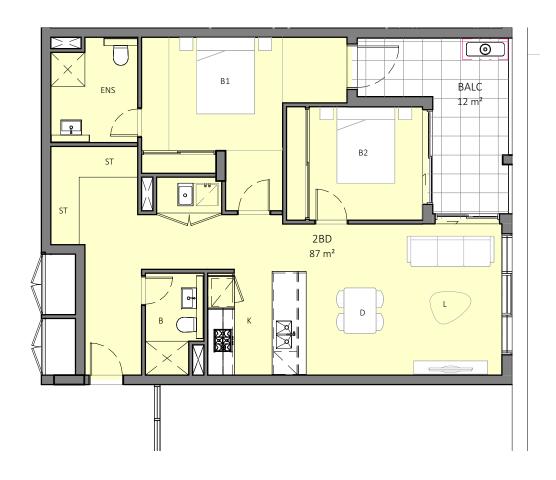












1 Level 1,2,3 Pre-Adaptable Units 1.03, 2.03, 3.03 DA-0-300 1:100



Level 1, 2, 3 Post-Adaptable Units 1.03, 2.03, 2 DA-0-300 1:100

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Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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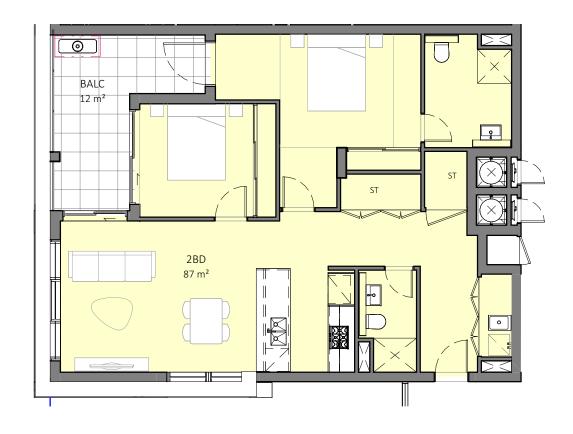
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PRE, POST - ADAPTABLE UNITS I



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O BD1 BALCONY BD2

1 Level 1,2, 3 Pre-Adaptable Units 1.07, 2.07, 3.07 DA-0-300 1:100

2 DA-0-300 1:100 Level 1,2,3 Post-Adaptable Units 1.07, 2.07, 3.07

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PRE, POST - ADAPTABLE UNITS II





KR AV

1 Level 4-12 Livable Units
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\*LIVABLE 20% = 18 UNITS

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THALLON STREET APARTMENTS

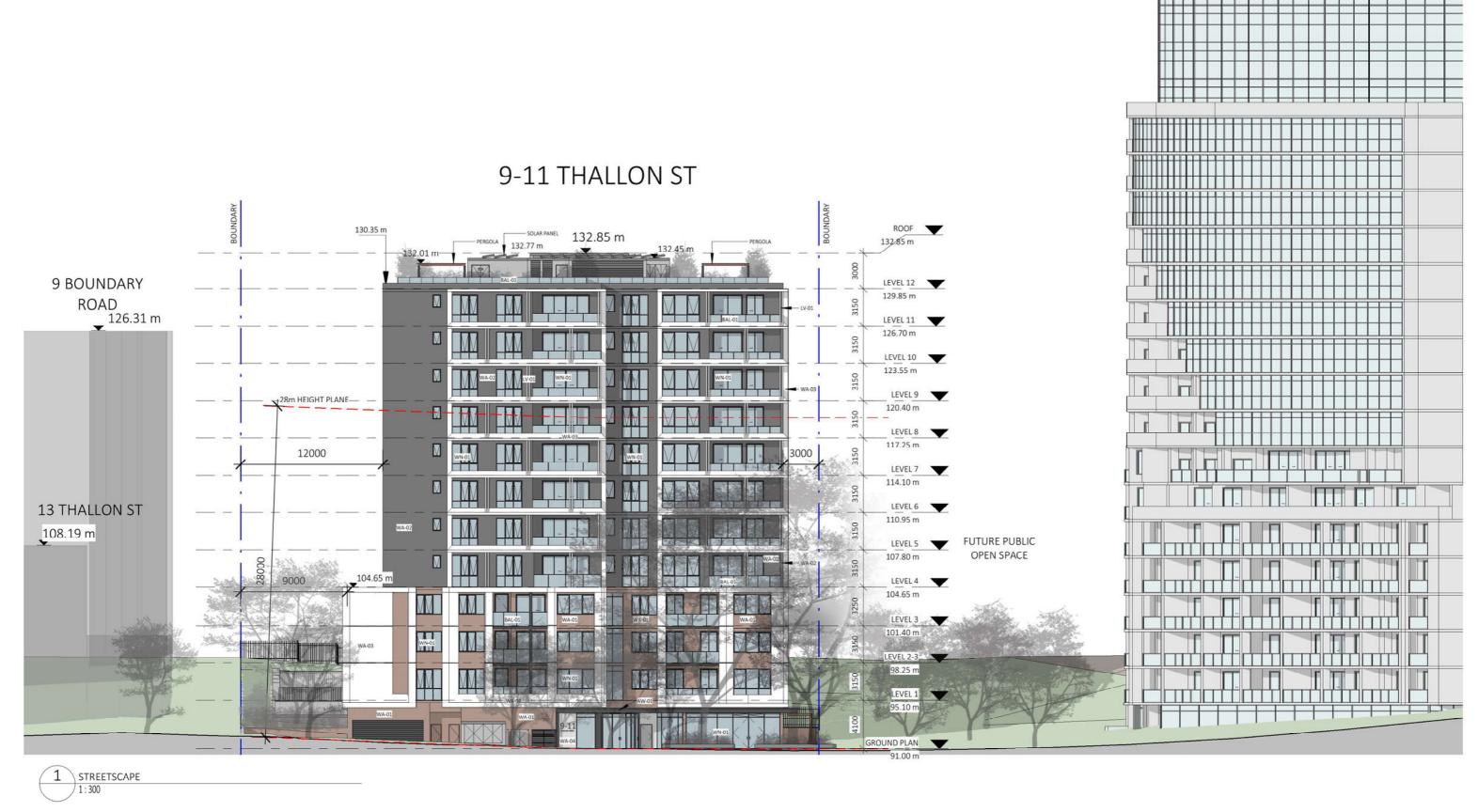
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LIVABLE UNITS





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Feasibility concept

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1 THALLON ST

156.90 m

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THALLON STREET APARTMENTS
9-11 Thallon Street, Carlingford

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Feasibility concept
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**EAST ELEVATION** 



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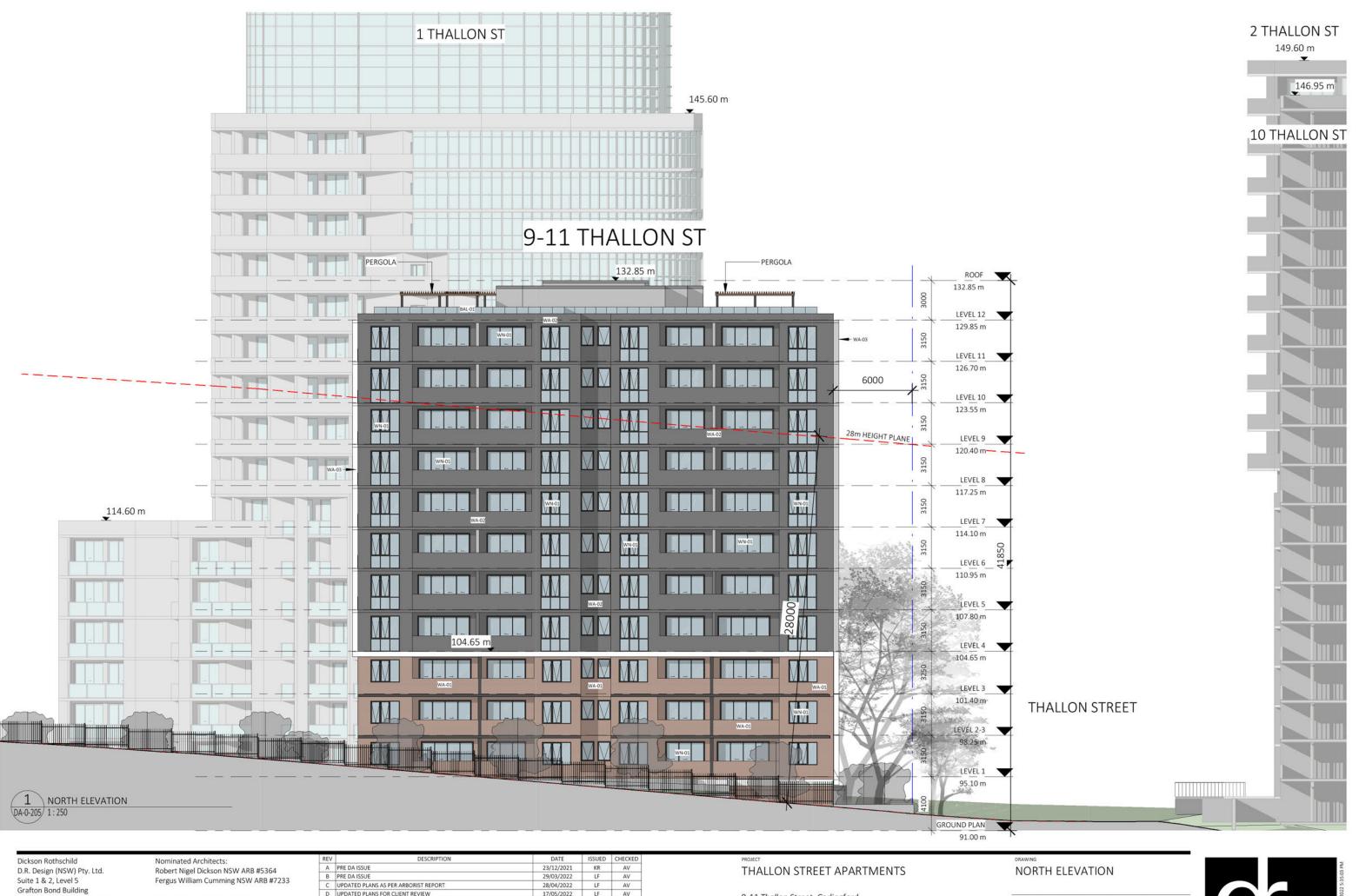


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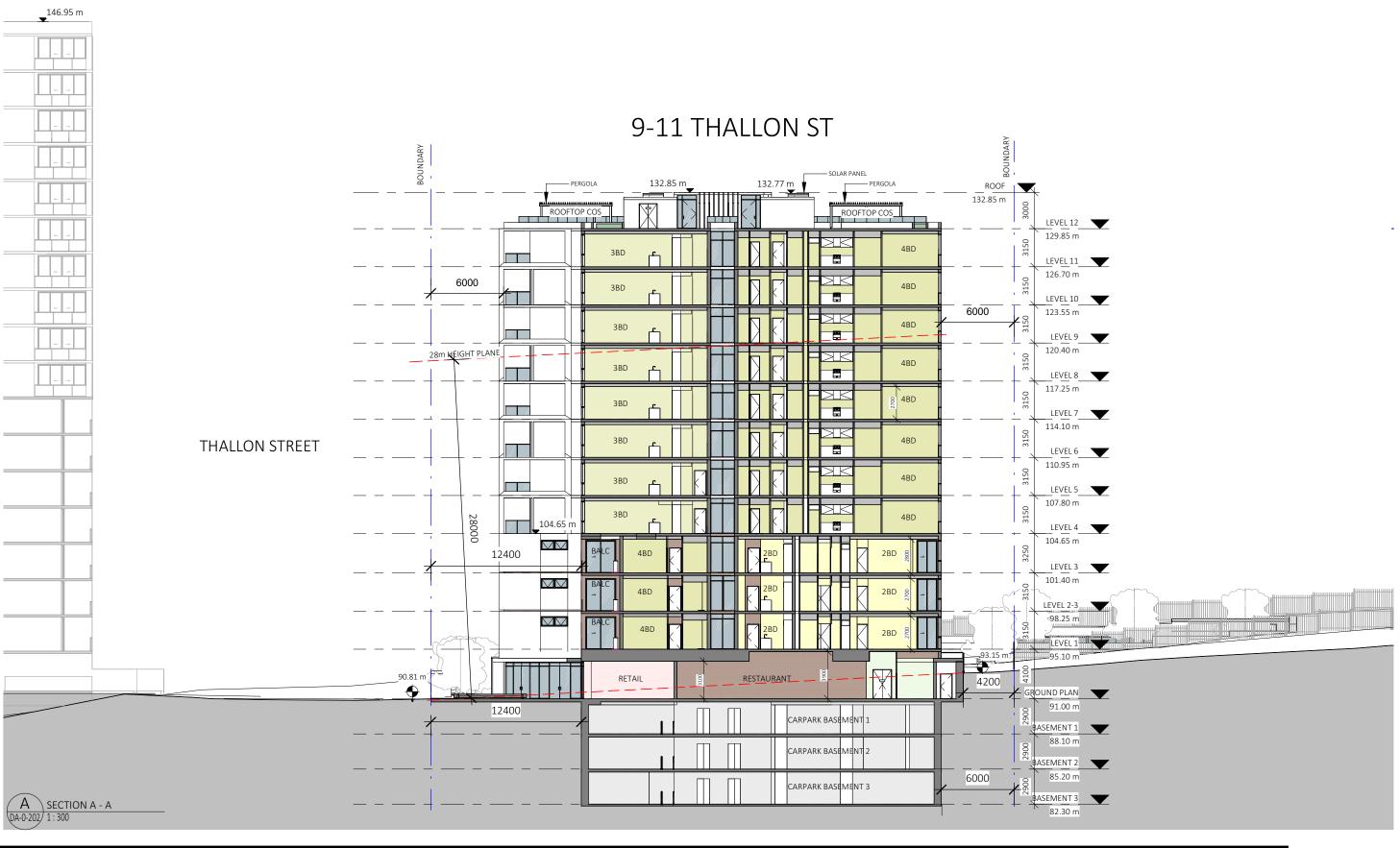
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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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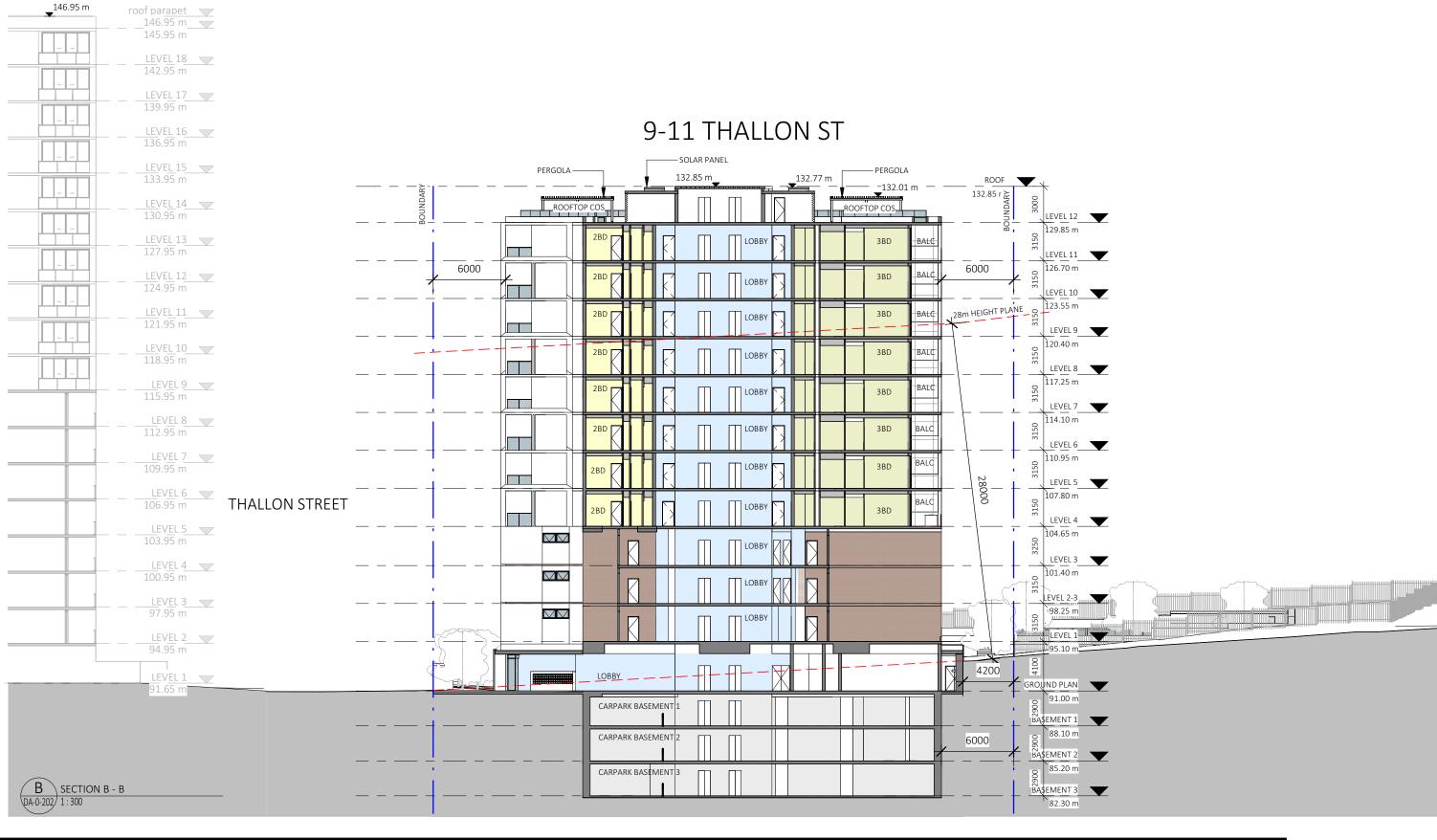
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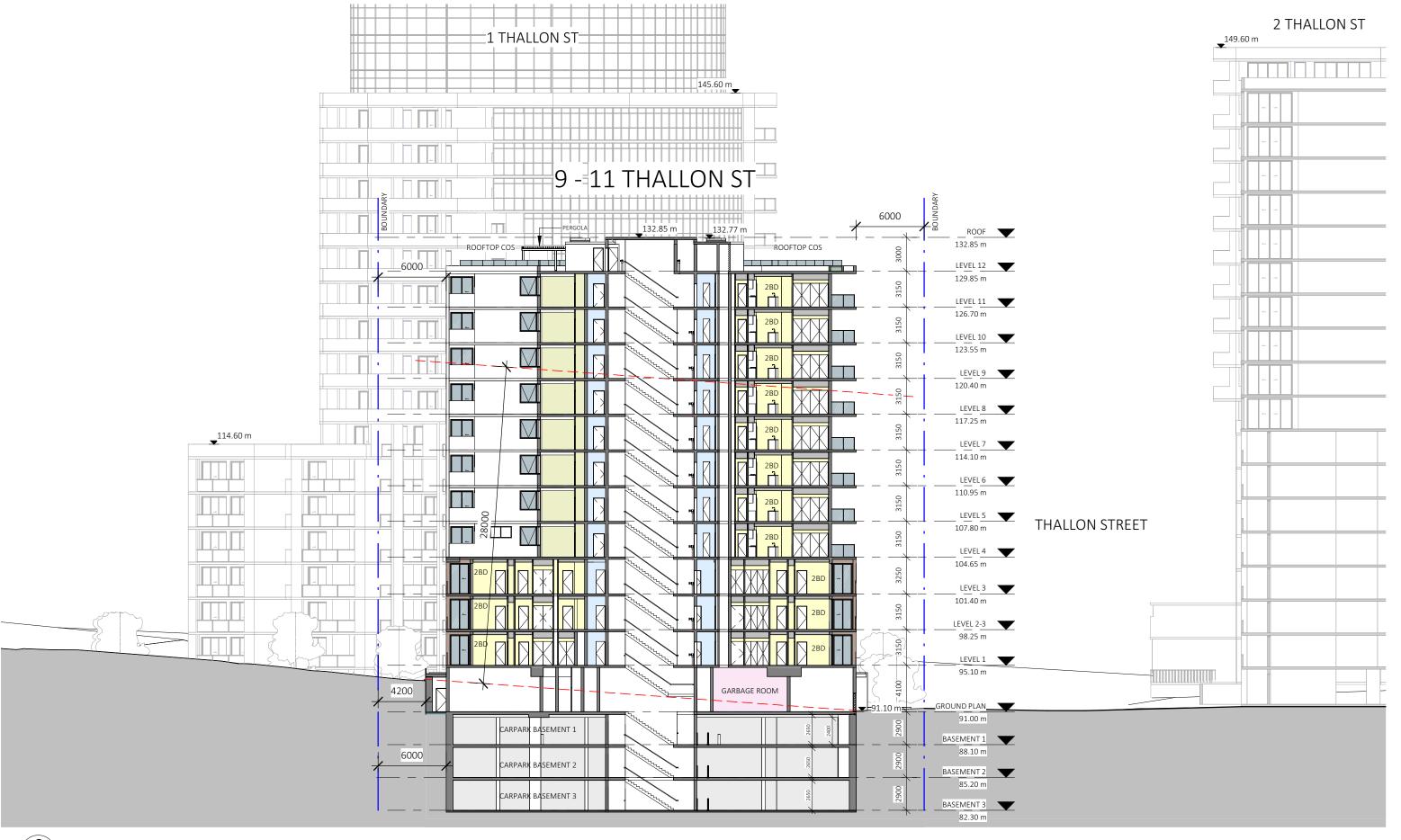
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SECTION B - B





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Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Suite 1 & 2, Level 5 Grafton Bond Building 201 Kent St, Sydney NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720 Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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D	UPDATED PLANS FOR CLIENT REVIEW	17/05/2022	LF	AV
Е	COORDINATION SERVICES PLANS	08/06/2022	LF	AV
F	ISSUE FOR DA SUBMISSION	19/08/2022	LF	AV
G	ARCHITECTURAL PLANS FOR RFI	08/09/2022	LF	AV
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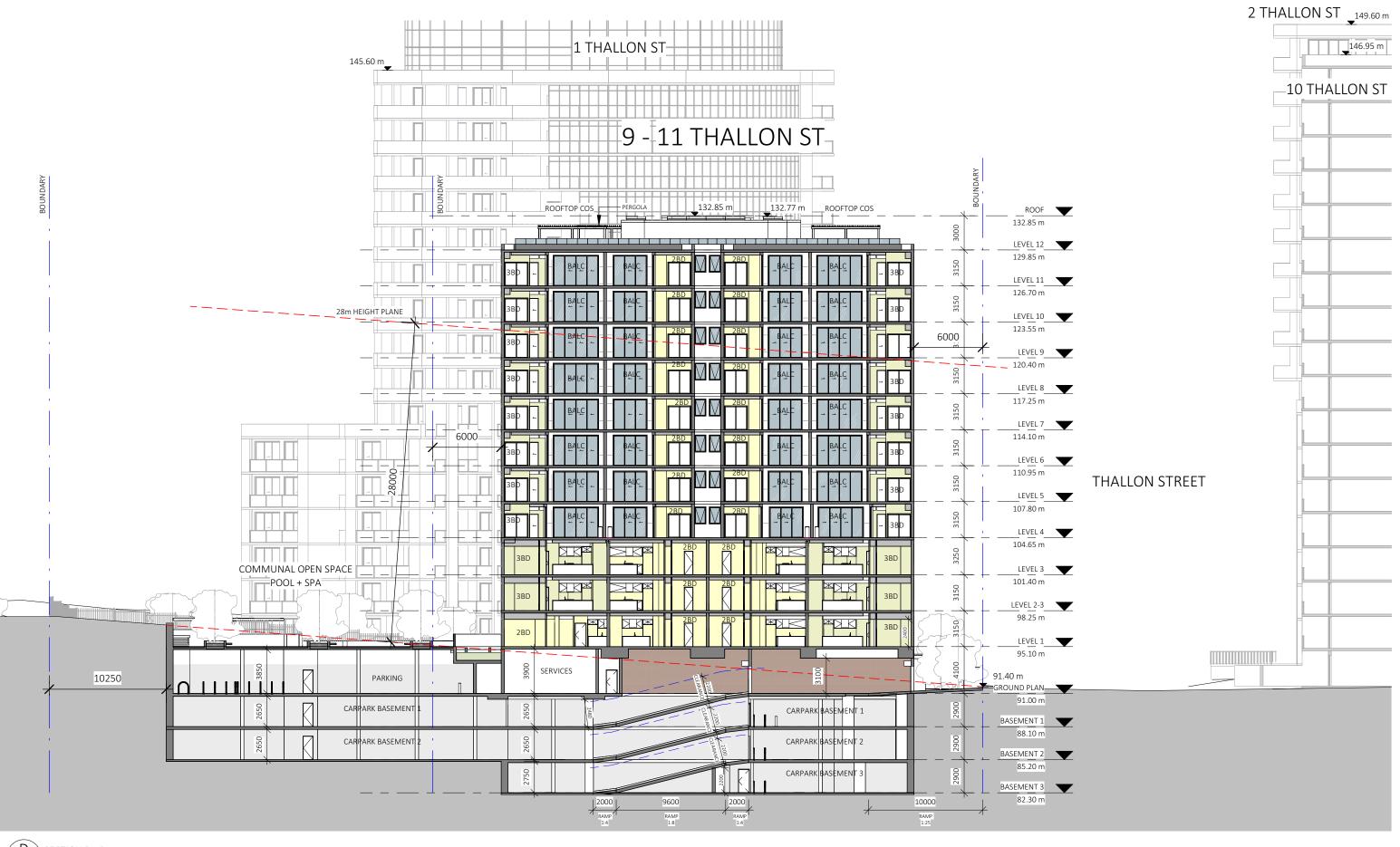
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Feasibility concept
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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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SECTION D - D

PROJECT NO. DRAWING NO. 21-085 DA-0-40

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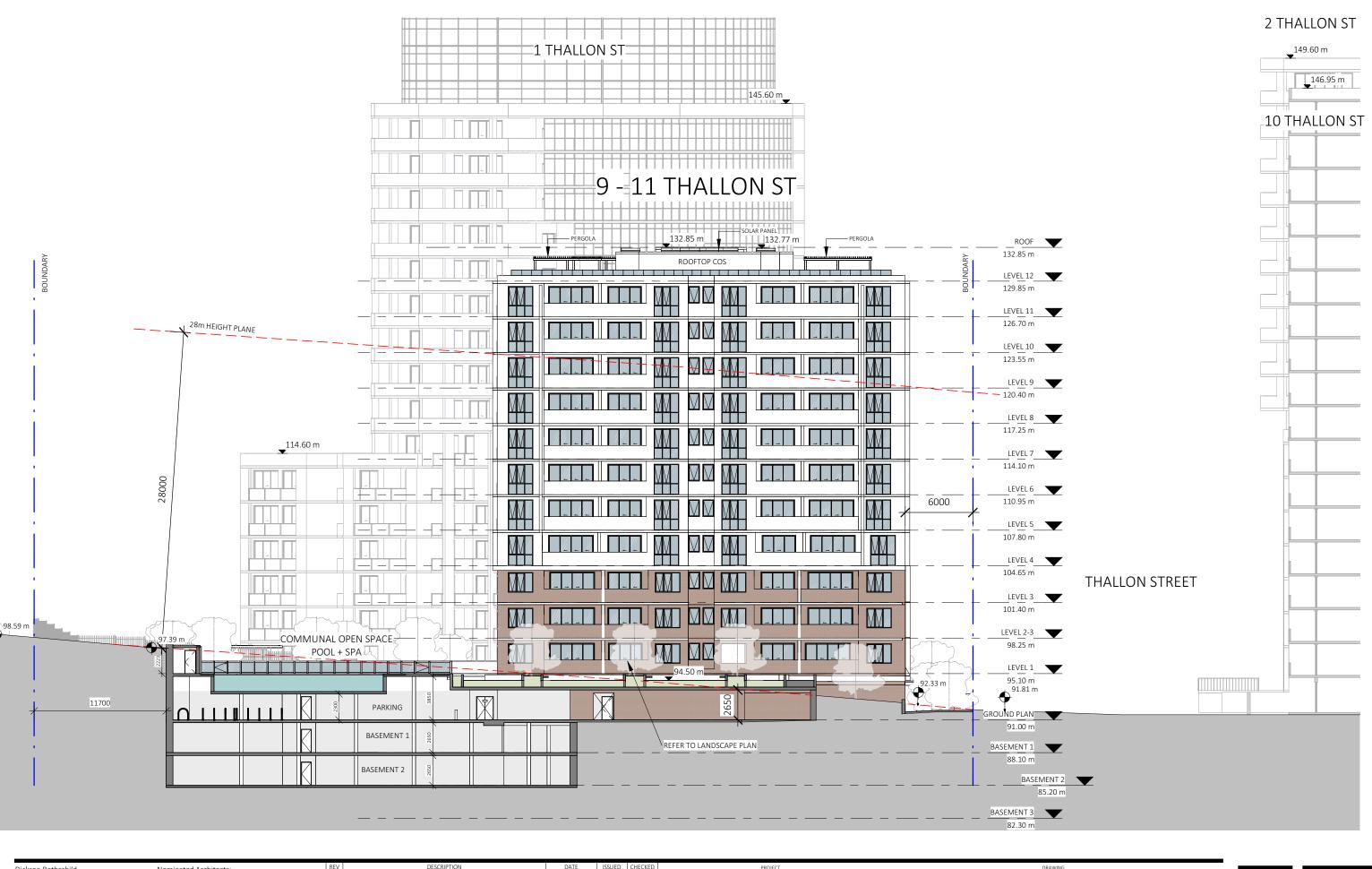
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Feasibility concept
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SECTION E - E

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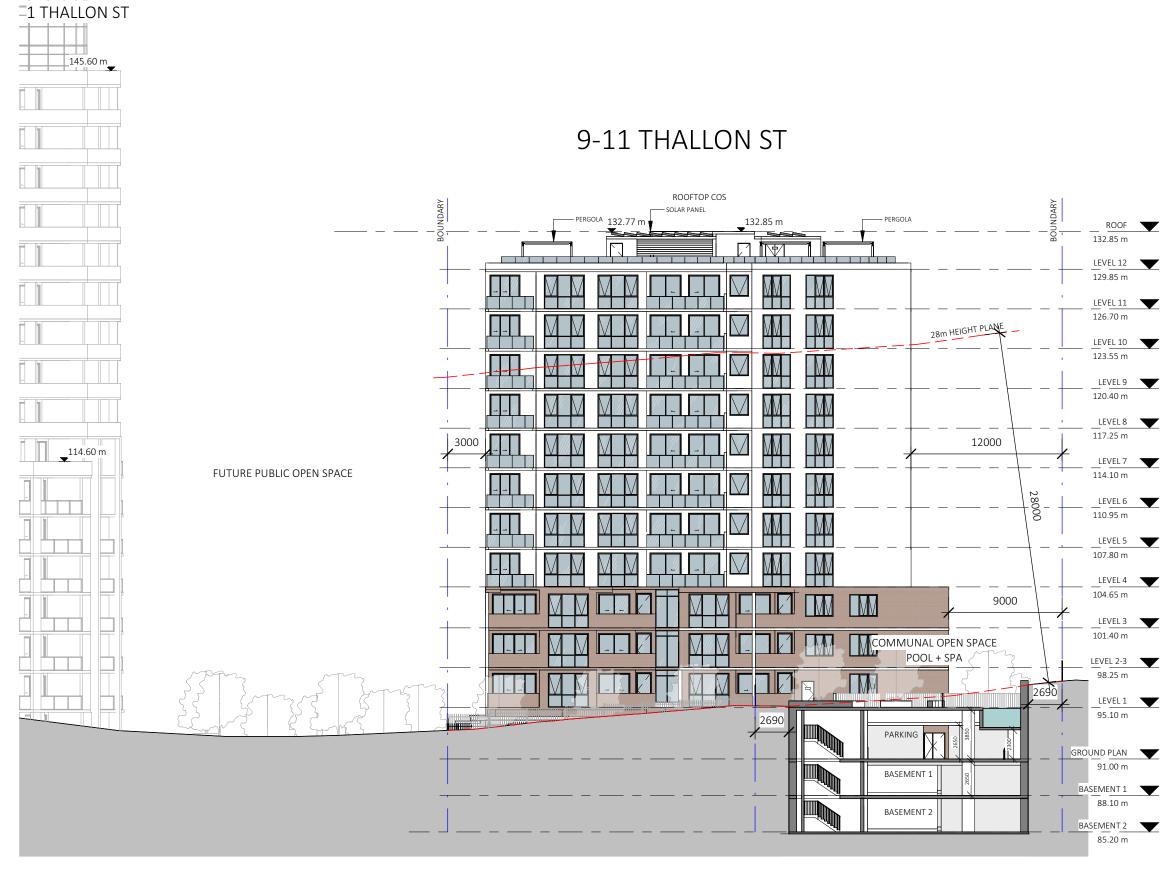
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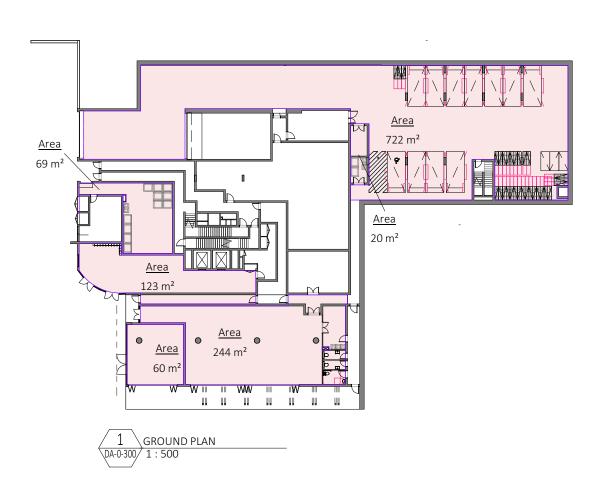
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D.R. Design (NSW) Pty. Ltd.	Robert Nigel Dickson NSW ARB #5364	Α	PRE DA ISSUE	23/12/2021	KR	AV	
Suite 1 & 2, Level 5	Fergus William Cumming NSW ARB #7233	В	PRE DA ISSUE	29/03/2022	LF	AV	
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201 Kent St, Sydney NSW 2000	www.dicksonrothschild.com.au	Е	COORDINATION SERVICES PLANS	08/06/2022	LF	AV	
ABN: 35 134 237 540		F	ISSUE FOR DA SUBMISSION	19/08/2022	LF	AV	
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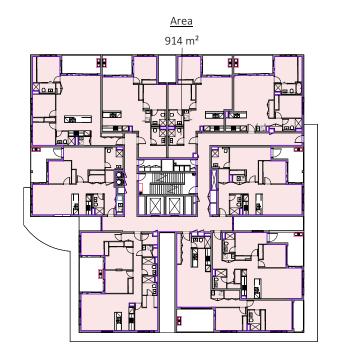
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9-11 Thallon Street, Carlingford	PROJECT NO. DRAWING NO.
THALLON STREET APARTMENTS	SECTION F - F
PROJECT	DRAWING

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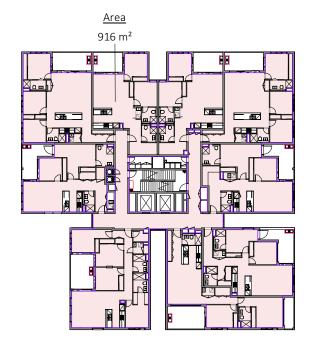
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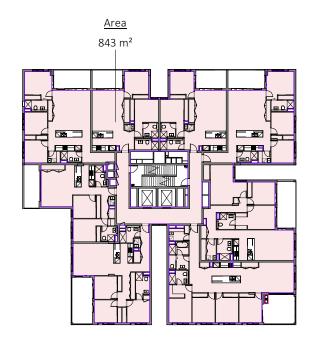




2 DA-0-300 1 : 500





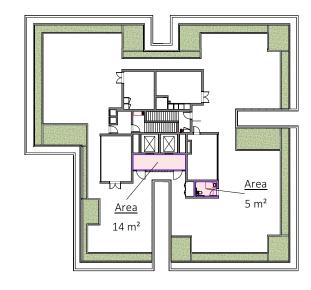


4 \LEVEL 4-11TYPICAL FLOOR PLAN DA-0-300/ 1 : 500

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5 \LEVEL 12 DA-0-300/ 1:500

NOTE: 1sqm riser for each unit assumed for FSR calculations

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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

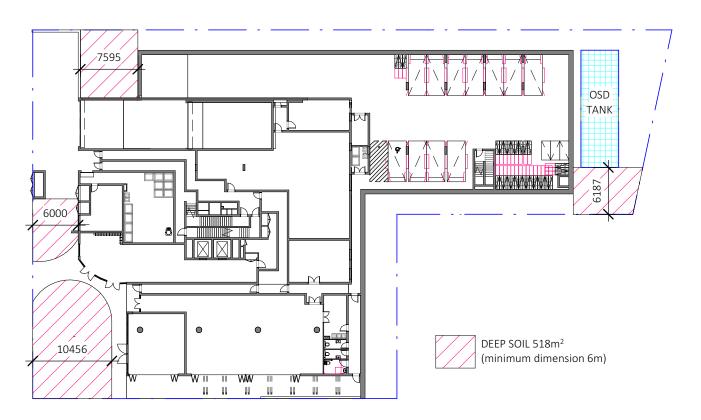
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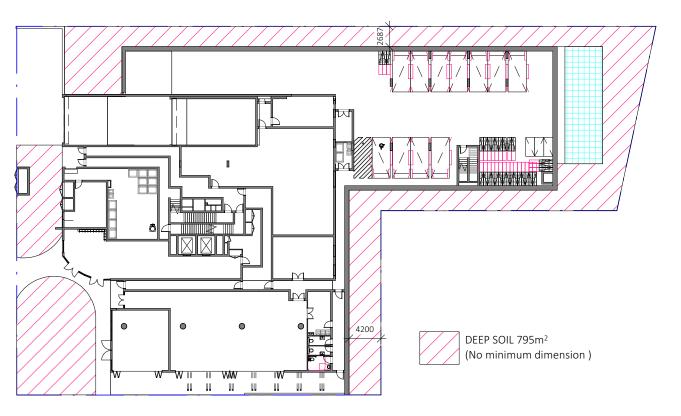
**GFA PLANS** 



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1 DEEP SOIL 6m DA-0-300/ 1 : 500



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9-11 Thallon Street, Carlingford

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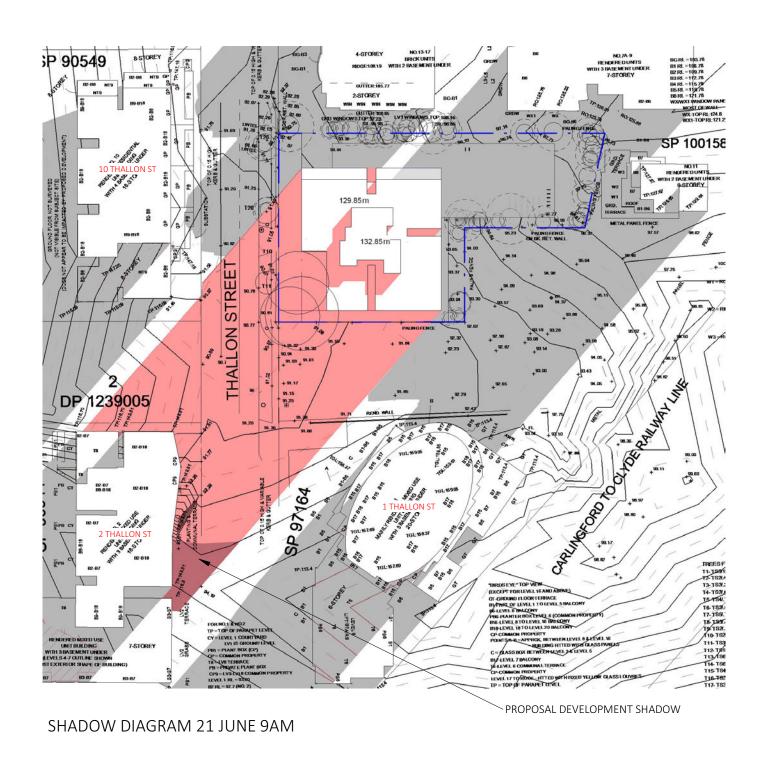
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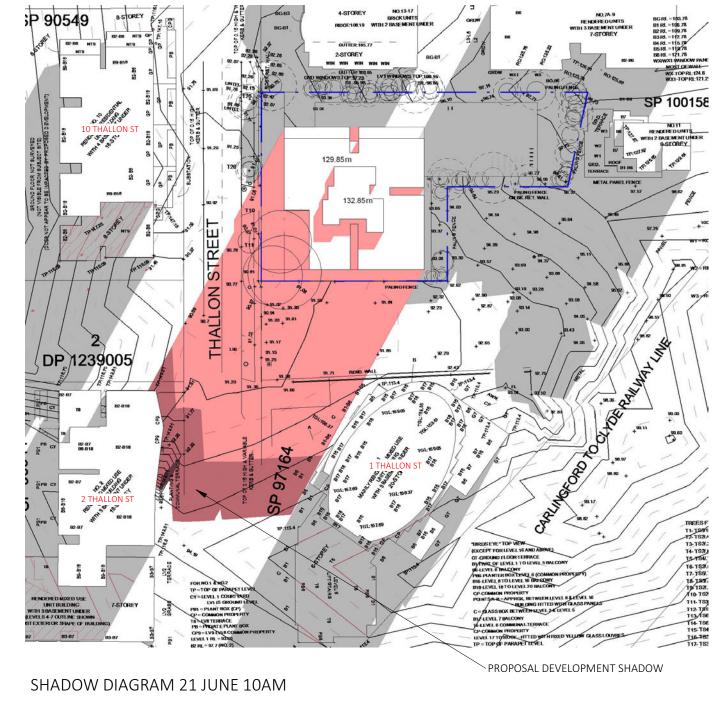


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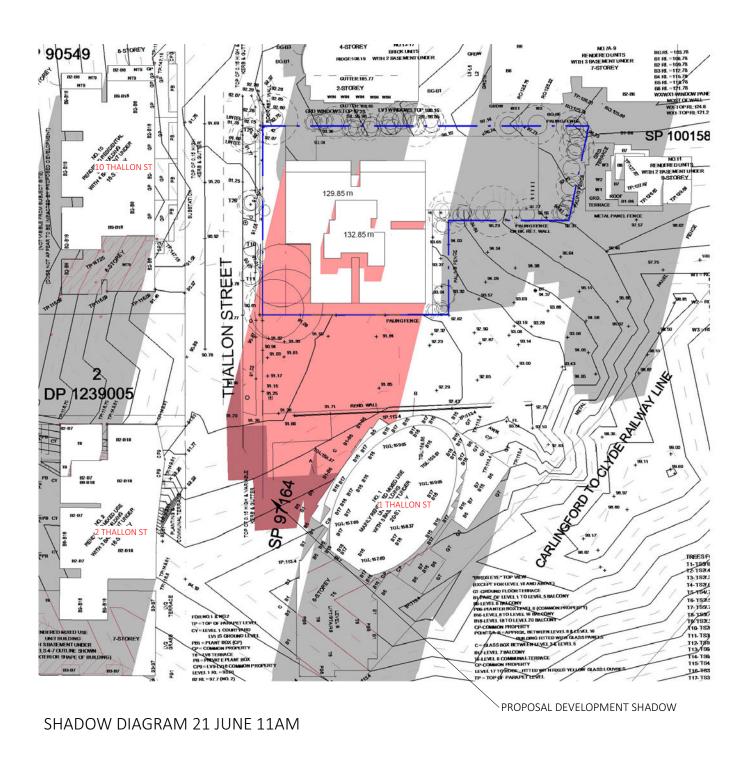
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SHADOW ANALYSIS - SHEET 1

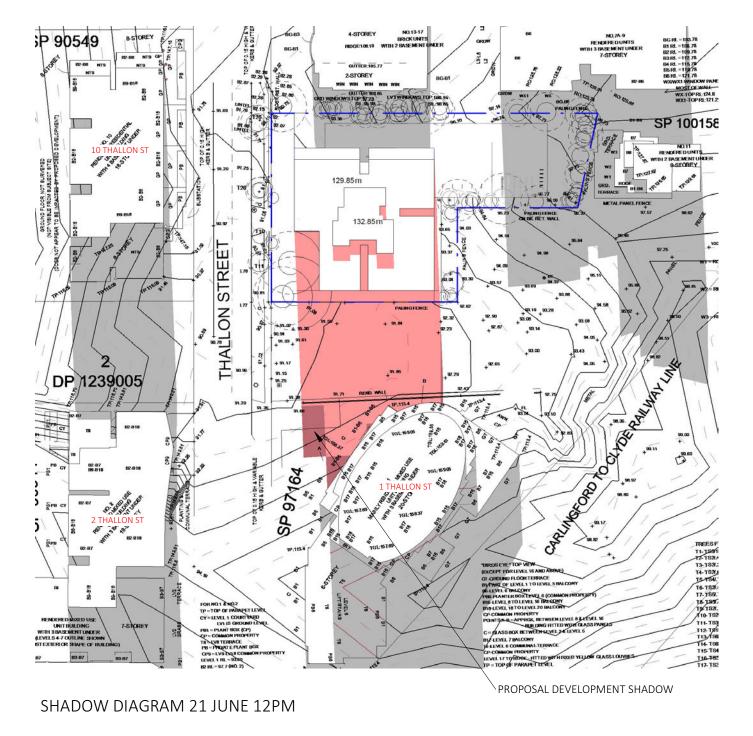
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SHADOW ANALYSIS - SHEET 2

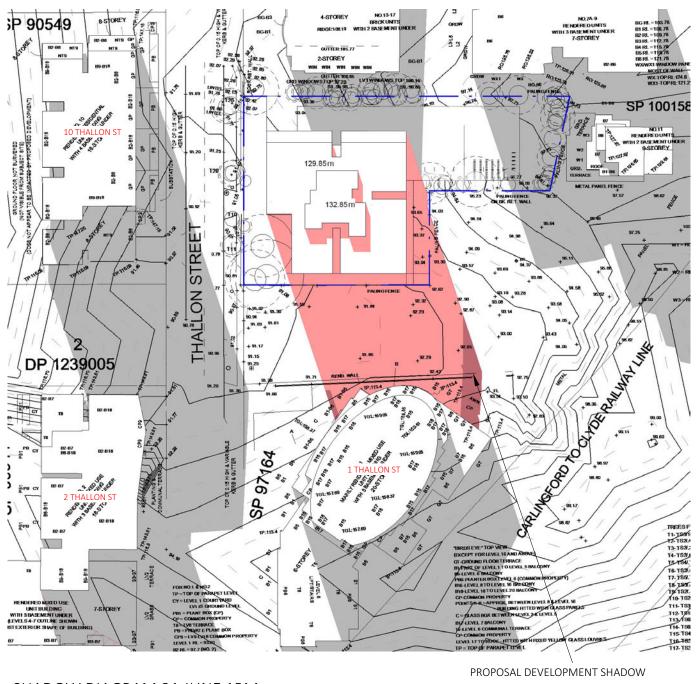
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SHADOW DIAGRAM 21 JUNE 1PM

SHADOW DIAGRAM 21 JUNE 2PM

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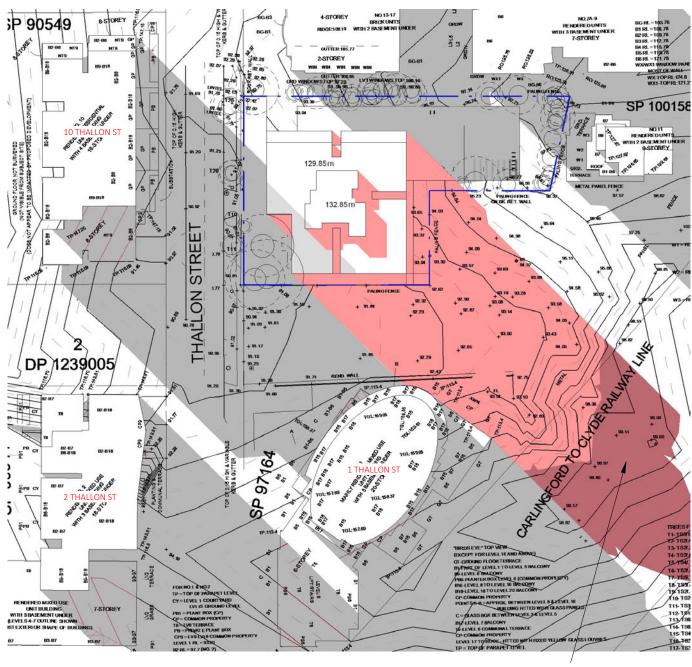
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THALLON STREET APARTMENTS SHADOW ANALYSIS - SHEET 3 9-11 Thallon Street, Carlingford SW Developments Pty Ltd

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SHADOW DIAGRAM 21 JUNE 3PM

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PROPOSAL DEVELOPMENT SHADOW

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D.R. Design (NSW) Pty. Ltd.
Suite 1 & 2, Level 5
Grafton Bond Building
201 Kent St, Sydney NSW 2000
ABN: 35 134 237 540
Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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THALLON STREET APARTMENTS

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SHADOW ANALYSIS - SHEET 4

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1 21st JUNE - 09 AM

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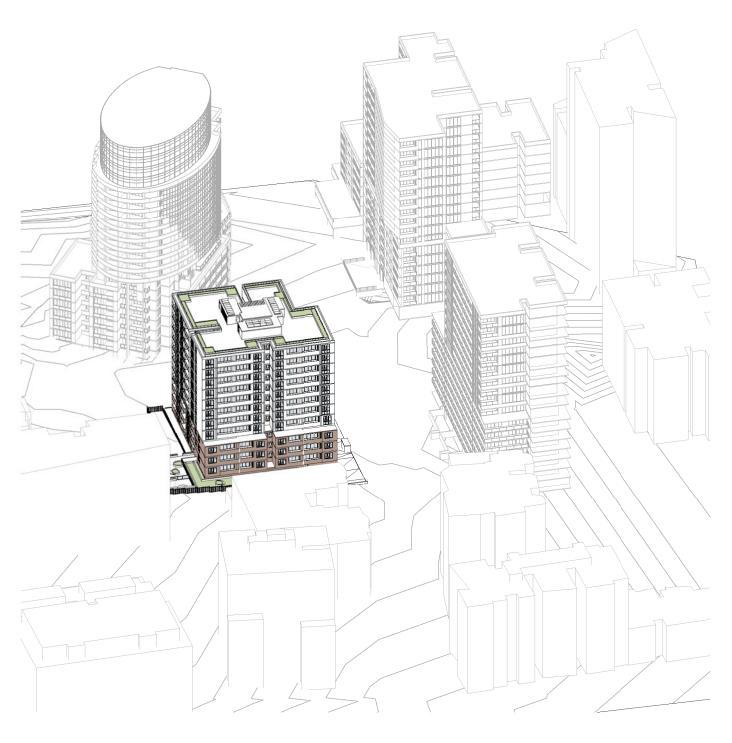
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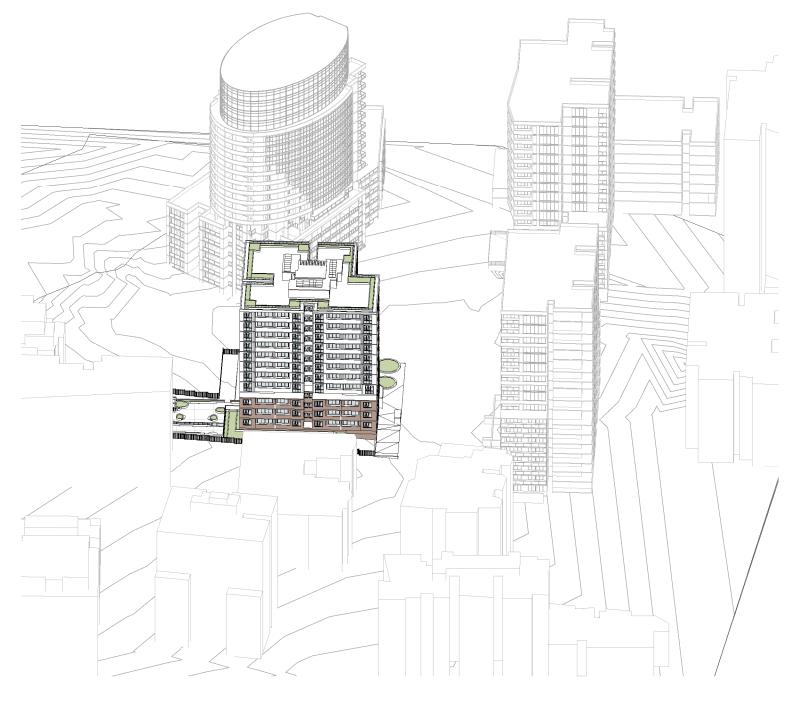
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Feasibility concept
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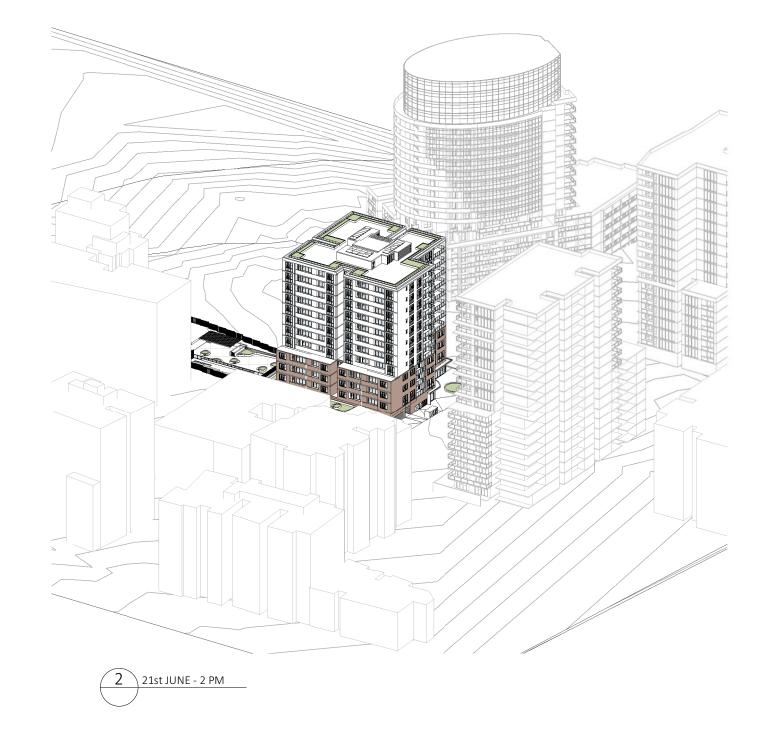


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G	ARCHITECTURAL PLANS FOR RFI	08/09/2022	LF	AV

THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

SW Developments Pty Ltd

Feasibility concept	
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SUN VIEW - SHEET 3

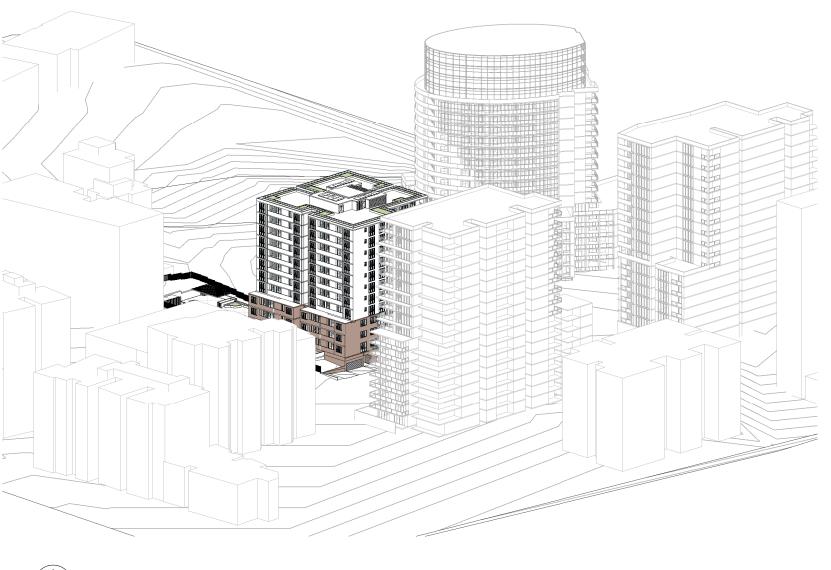
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21st JUNE - 3 PM

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Suite 1 & 2, Level 5 Grafton Bond Building 201 Kent St, Sydney NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720 Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

SW Developments Pty Ltd

easibility concept					

SUN VIEW - SHEET 4

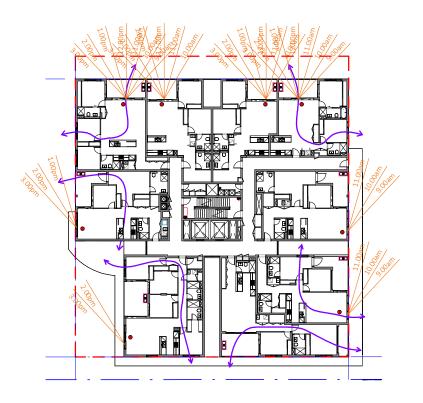
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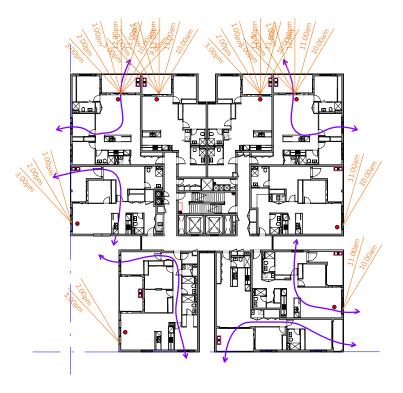
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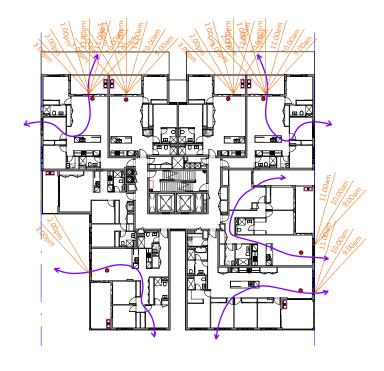




Level 1 Solar and Cross Ventilation



Level 2-3 Solar and Cross Ventilation DA-0-300 1:500



Level 4-11 Solar and Cross Ventilation DA-0-300 1:500



+2HR NATURAL LIGHT 65 UNITS (71%)

CROSS VENTILATION 43 UNITS (64%)

Dickson Rothschild	Nominated Architects:
D.R. Design (NSW) Pty. Ltd.	Robert Nigel Dickson NSW ARB #5364
Suite 1 & 2, Level 5	Fergus William Cumming NSW ARB #7233
Grafton Bond Building	

201 Kent St, Sydney NSW 2000

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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

SW Developments Pty Ltd

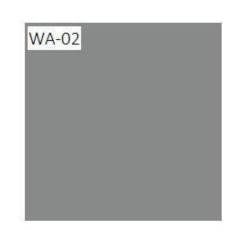
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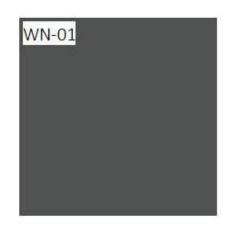
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	ALUSTRADES		BBIGK	EACE BRICK BOWEAU BROWN BY ALICEDAL OR CIVALIA B
		EXTERIOR WALL	BRICK	FACE BRICK - BOWRAL BROWN BY AUSTRAL OR SIMILAR
2	WA-02	EXTERIOR WALL	PAINT	HEBAL AND RENDER FINISH, TEXTURE COATING - DULUX TIMELESS GREY OR SIMILAR
3	WA-03	EXTERIOR WALL	PAINT	HEBAL AND RENDER FINISH, TEXTURE COATING - DULUX LEXICON QUARTER OR SIMILAR
4	WA-04	EXTERIOR WALL	ALUCOBOND	CHAMPAGNE METALLIC
5	BAL-01	BALUSTRADE	FROSTED GLASS WITH POWDERCOATED RAILINGS	DULUX MONUMENT MATT FINISH OR SIMILAR
VINDOWS	& DOORS			
6	WN-01	WINDOW, DOOR	FROSTED GLASS WITH POWDER COATED ALUMINIUM FRAME	COLORBOND MONUMENT MATT FINISH OR SIMILAR
EATURES				
7	LV-01	FIXED LOUVERS	ALUMINIUM	DELUX LEXICON QUARTER
8	AW-01	AWNING	ALUMINIUM	COLORBOND MONUMENT MATT FINISH OR SIMILAR
9	FE-01	FENCE	STEEL	COLORBOND MONUMENT MATT FINISH OR SIMILAR



















Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Suite 1 & 2, Level 5 Grafton Bond Building 201 Kent St, Sydney NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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	Grafton Bond Building					
	201 Kent St, Sydney NSW 2000	www.dicksonrothschild.com.au	Е	COORDINATIO		
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THALLON STREET APARTMENTS	
9-11 Thallon Street, Carlingford	

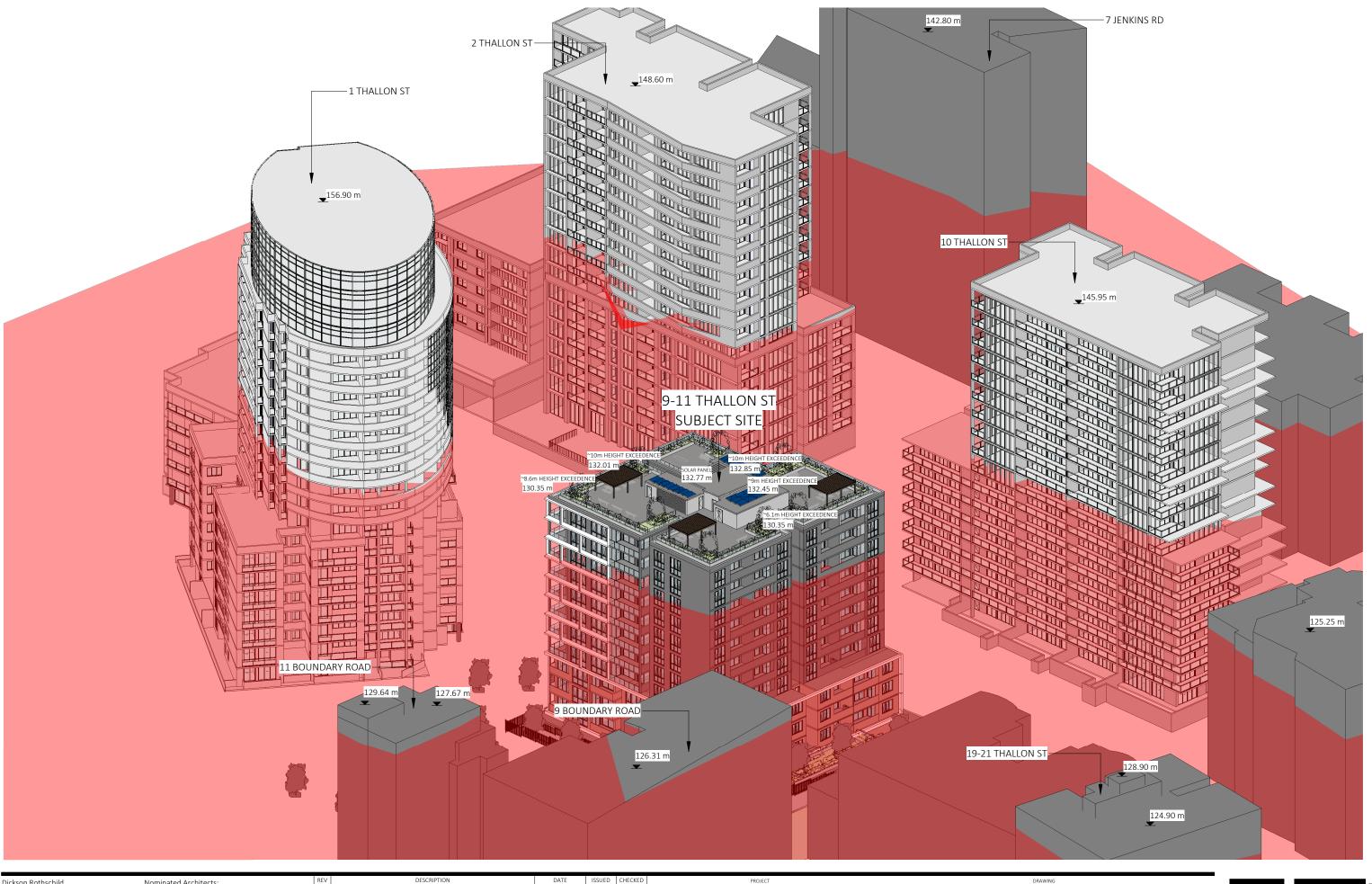
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FINISHES SCHEDULE





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THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

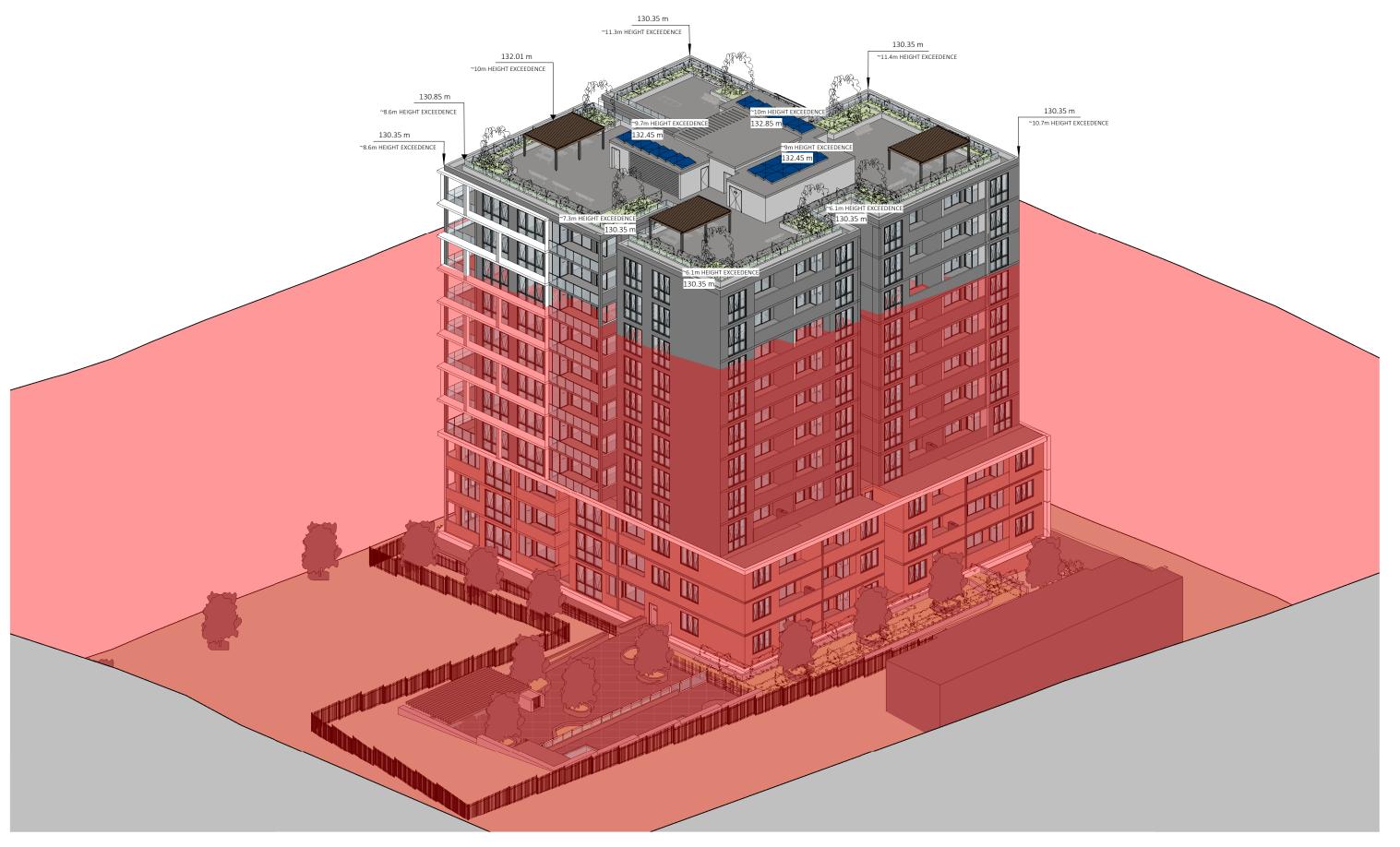
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Feasibility concept

**HEIGHT PLANE CONTEXT** DIAGRAM 21-085 DA-0-912 G 08/09/2022

LF





#### HEIGHT PLANE DIAGRAM 28m

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Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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#### THALLON STREET APARTMENTS

9-11 Thallon Street, Carlingford

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Feasibility concept
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## **LEGEND & SCHEDULE**

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND

VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT. 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH

APPROVED LANDSCAPE PLANS. 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID

6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

#### **CANOPY TREES**



Pot size: Qty Required:

DAMAGE AND CLASHING WITH SURFACE ROOTS

**Botanical Name:** Eucalyptus tereticornis Common Name: Forest Red Gum (Native) **Mature H x S:** 15-20m x 5-8m

Botanical Name: Phormiums tenax 'Purpureum'

Botanical Name: Dodonaea viscosa 'Purpurea'

200mm

200mm

Botanical Name: Westringia 'Aussie Box'

200mm

200mm

140mm

140mm

**Mature H x S:** 2m x 1.5m

Common Name: Purple Sticky Hop Bush (Native,

Botanical Name: Backhousia myrtifolia

**Common Name:** Grey Myrtle (Native) **Mature H x S:** 5-10m x 4m Qty Required:

**GARDEN SCALE AND FEARUTE TREES** 

(under 8m max height) **Botanical Name:** Fraxinus 'Raywoodii' Common Name: Claret Ash (Exotic) 75Lt

Pot size: **Mature H x S:** 12m x 5-8m Qty Required: **Botanical Name:** Lagerstroemia 'Natchez' **Common Name:** Crepe Myrtle (Exotic)

Pot size: Mature H x S: 6m x 4m Qty Required:

FR

**ACCENT PLANTS** 

Common Name: New Zealand Flax lily (Exotic) Pot size: **Mature H x S:** 1.2m x 1.2m Qty Required:

Pot size:

Qty Required:

SHRUBS & SCREEN PLANTING

**Botanical Name:** Syzygium 'Tiny Trev' **Common Name:** Dwarf Lilly Pilly (Native) Pot size: Mature H x S: 1m x 1m Qty Required: 11

Common Name: Westringia Aussie Box (Native) **Mature H x S:** 0.9m x 0.9m Qty Required: 14 **Botanical Name:** Syzygium 'Cascade' Common Name: Cascade Lilly Pilly (Native)

Pot size: **Mature H x S:** 2.5m x 1.8m Qty Required: **GROUNDCOVERS & GRASSES** 

**Botanical Name:** *Trachelospermum 'Tricolour'* **Common Name:** Tricolour Jasmine (Exotic) Pot size:

Mature H x S: 0.2m x spreading Qty Required: 5/m2 (14m2 total) **Botanical Name:** Dianella 'Little Jess' **Common Name:** Little Jess Flax Lily (Native) **Mature H x S:** 0.4m x 0.4m

Lomandra longifolia (Spiny Mat Rush)

Carex appressa (Tall Sedge) Juncus amabilis (Gentle Rush) Isolepis nodosa (Nobby Club Rush) Pot size: Tube stock Mature H x S: 0.2m x spreading Qty Required: 6/m2 (100m2 total)

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to change, alteration or amendment at the discretion of our office.

Qty Required: 57

**Native Grass Mix:** 

GENERAL NOTE: site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing iscrepancies to the Landscape Architect before processing win the work.

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withdraw this information from the assessment process if su

payments are not made following the notification period.

# D.R.DESIGN (NSW) PTY.LTD



LANDSCAPE ARCHITECT



Suit 101, 506 Miller Street,

PARRAMATTA SW DEVELOPMENTS PTY LTD

NOTATION/AMENDMENT A 17.06.2022 Preliminary DA prepared for review C 08.08.2022 Issued for DA

Mass planting under existing trees to

- 6 W. 'Aussie Box' - 6 P.'Purpureum'

- 25 D. 'Little Jess'

- 9m2 T. 'Tricolour'

- 4 W. 'Aussie Box'

- 3 D. 'Purpurea'

- 6 P.'Purpureum'

- 21 D. 'Little Jess'

 $\angle$ 

PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT 9-11 THALLON STREET CARLINGFORD

BARBAGE ROOM

91.81

PLANTROOM

 $69 \text{ m}^2$ 

Bar Scale **10m** LPDA 22 - 389

 $9 \text{ m}^2$ 

T55565754

**[5152**]

CAR PARK RAMP TO

BASEMENT 1

93,71

HYD PUMP ROOM / FIRE

FIRE SERVICES TANK

PROVIDE ACCESS TO

FIRE PUMP ROOM

91.00 m

RESTAURANT

 $229 \text{ m}^2$ 

UTDOOR DINING

BOUNDARY

91.00 m

SERXIGES BUMP ROOM /

93,33

л 9-11

LOBBY

 $100 \text{ m}^2$ 

91.00 m

DEVELOPMENT APPLICATION LANDSCAPE PLAN AUG 2022 1:100 CHECKED R.F K.Z

#### This plan has been prepared for Development Application approval only, not for construction.

This plan should be read in conjunction with the architectural and

the installation of landscaping, and should not be altered or

hydraulics plans. Work specific to these plans should be prepared in

accordance to these plans, including specification and details prior to

compromised during landscape construction. Retaining wall details to

Elements such as drainage swales may be incorporated in garden bed

areas (using non-floatable mulch) without compromising the capacity or

LANDSCAPE PLAN

**NOTES** 

engineers design.

This plan has been prepared with reference to City of Parramatta Landscaping Guidelines & requirements. Planting proposed using commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (acceptable for BASIX planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed

**DA** approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be

FIXED OUTDOOR FURNITURE FOR ROOFTOP COMMUNAL OPEN SPACE SHALL BE LOCATED A MINIMUM 1M AWAY FROM PLANTER WALL, WHEREVER EXTERNAL HANDRAIL IS OMITTED. WHERE BENCHES OR FURNITURE IS FIXED OR LOCATED ADJACENT THE ROOFTOP PLANTER WALL, AN EXTERNAL BALUSTRADE MUST BE INSTALLED TO COMPLY WITH BCA AND AUSTRALIAN

NON-FIXED FURNITURE ADDED BY STRATA SHALL BE LOCATED A MINIMUM 1M AWAY FROM PLANTER WALL, AND SHALL BE THE RESPONSIBILITY OF THE BODY CORPORATE.

AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS, FOR FUTURE MAINTENANCE.

DRAINAGE PITS AND DRAINAGE LINES SHOULD BE LOCATED WITHIN GARDEN AREAS TO ALLOW FOR SITE DRAINAGE WHILE MINIMISING IMPACT ON THE PROPOSED PLANTING SCHEME. WHERE POSSIBLE, PITS AND LINEWORK SHOULD BE LOCATED AT THE EDGE OF LANDSCAPE STRIPS TO AVOID PRECLUDING PLANTING CENTRALLY IN GARDEN AREAS. WHERE PITS AND LINEWORK OCCUR

 $\langle \rangle$ 

191.69

91 54

Mass planting to deep soil area to

Mass planting to entrance garden bed

- 50 m2 Native Grass Mix

include:

91.25

to include:

**T-2** 

**T3** 

T8

- 1 L. 'Natchez'

- 3 S. 'Tiny Trev'

- 4 W. 'Aussie Box'

- 3 P.'Purpureum'

- 11 D. 'Little Jess'

- 3m2 T. 'Tricolour'

- 1 F. 'Raywoodii'

- 2 B. myrtifolia

90,89

- 8 S. 'Tiny Trev'

- 4m2 T. 'Tricolour'

- 50 m2 Native Grass Mix

フレーノレ

90.81

T65

- 1 E. tereticornis

- 3 S. 'Cascade'

excavation near existing established trees to be supervised by arborist.

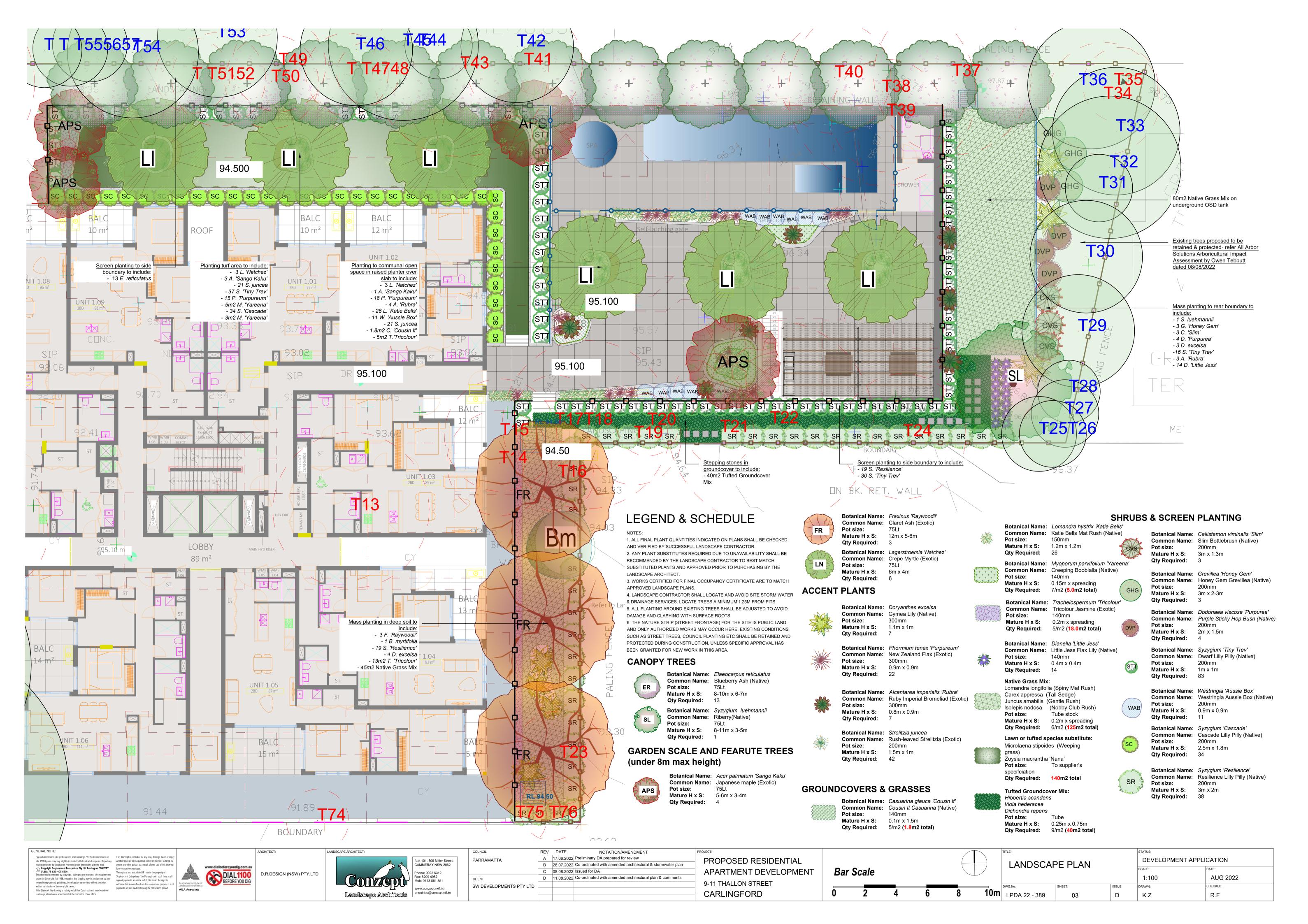
constructed as drawn on this plan.

PROPOSED LAWN OR LAWN SUBSTITUTES ALONG SIDE PASSAGE FOR COUNCIL LANDSCAPE COMPLIANCE PURPOSE.

WITHIN GARDEN BEDS, THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID DAMAGING STORM WATER WHEN PLANTING SHRUBS AND TREES. LANDSCAPE CONTRACTORS SHALL NOT ALTER THE FORM OF SWALES DESIGNED TO DIRECT OVERLAND FLOW.

- 7m2 T. 'Tricolour'

B 26.07.2022 Co-ordinated with amended architectural & stormwater plan D 11.08.2022 Co-ordinated with amended architectural plan & comments



### **LEGEND & SCHEDULE**

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#### **SHRUBS**



Pot size:

**Botanical Name:** *Grevillea 'Honey Gem'* Common Name: Honey Gem Grevillea (Native) 200mm **Mature H x S:** 3m x 2-3m Qty Required:

300mm

150mm

200mm

200mm

200mm

200mm

200mm

48

#### **ACCENT PLANTING**



Botanical Name: Alcantarea imperialis 'Rubra' **Common Name:** Ruby Imperial Bromeliad (Exotic) Pot size:

**Mature H x S:** 0.8m x 0.9m Qty Required: 20

Botanical Name: Dichondra argentea 'Silver Falls' Common Name: Silver Fall Dichondra (Exotic) Pot size: Mature H x S: 0.15m x spreading

Qty Required: 6/m2 (7.0m<sup>2</sup> total) Botanical Name: Dianella tasmanica 'Tasred' Pot size:

Common Name: Tasred Flax Lily (Native) **Mature H x S:** 0.6m x 0.65m Qty Required: 24

Botanical Name: Russelia equisetiformis Common Name: Firecracker (Exotic) Pot size: **Mature H x S:** 1m x 1.2m

Qty Required:

SHRUBS **Botanical Name:** Zamia furfuracea Common Name: Cardboard Palm (Exotic) Pot size: **Mature H x S:** 1m x 1.25m

Qty Required: 11 Botanical Name: Metrosideros 'Tahiti' Pot size:

Common Name: NZ Christmas Bush (Exotic) Mature H x S: 1m x 1m **Botanical Name:** Syzygium 'Tiny Trev'

**Common Name:** Dwarf Lilly Pilly (Native) Pot size: Mature H x S: 1m x 1m Qty Required: 16

Botanical Name: Westringia 'Aussie Box'

Common Name: Westringia Aussie Box (Native) **Mature H x S:** 0.9m x 0.9m Qty Required:





'FOR ADVANCED TREE PLANTING IN HIGH WIND AND ROOFTOP LOCATIONS, IT IS RECOMMENDED THAT AN APPROVED ROOT BALL ANCHORING SYSTEM EQUAL TO 'PLATIPUS ANCHORS' SHALL BE USED. INSTALL AS PER THE MANUFACTURERS SPECIFICATION'

### LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Retaining wall details to engineers

Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to *City of Parramatta* Landscaping Guidelines & requirements. Planting proposed using commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (acceptable for BASIX planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

**DA** approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.

#### COMMUNAL OPEN SPACE ROOFTOPS AND TERRANCE **PLANTERS**

### **GENERAL NOTE**

#### **BCA & Australian Standards (AS):**

Building codes and standards are established on a federal level by the nationally recognised Building Code of Australia (BCA), & these apply to all phases of construction, including balustrade design and specification. Specifically, BCA 2012 Parts 3.9.1 (stairs) and 3.9.2 (balustrades) and Australian Standard 1170.1 cover regulations for balustrades on stairways, balconies, rooftop terraces and other surfaces between levels.

#### **BCA Balustrade Regulations and Standards**

- A balustrade is defined as a rail and its balusters (posts or other supporting members). BCA regulations state that a balustrade must:
- Be at least 1 metre high as measured from the finished floor;
- Have openings between risers or posts no greater than
- Be able to withstand loads and impacts as determined by AS 1170.1

The height regulation of 1 metre ensures the balustrade is high enough to provide prevention against falling over the balustrade. The openings between risers or posts cannot be greater than 125mm to prevent children from falling between them. Load and impact regulations are designed to ensure balustrades can resist impact or will not collapse when pressure is applied to them from any direction.

### **Balustrade Safety & Planters**

BCA regulations state that the balustrade must be 1 metre or more, higher than the finished floor. On roof-top terraces, planters & furniture are often incorporated in the landscape design. It's important for compliance and safety that these elements do not undermine the safety of Communal Open Space (COS) terraces and rooftops, and the compliance with the BCA and AS's are maintained.

### Items to consider are:

- Where planters form the safety balustrade, their internal face must be 1m non-climbable
- Outdoor furniture such as tables, BBQs, and seating shall be fixed and located a minimum 1m away from balustrades
- Where furniture is proposed to be fixed or adjacent to COS terrace planters which form the balustrade, then a compliant handrail will be required to be fixed to the external edge of the

A concern for COS areas on rooftops or terrace areas is that the strata will add loose furniture which ultimately could undermine the safety of the installed balustrades. In this case, it shall be the strata bodies responsibility to manage the safety of these areas.

Ultimately, the compliance and safety of the COS areas shall be the responsibility of the builder, and carefully inspected and certified at the Occupation Certificate (OC) stage of the development

### Maintenance of COS area

Communal Open Space terrace and rooftop areas are exposed to extremes (wind, sun, and extreme weather) so maintenance is important. The following item should be included or considered:

- All planters shall be structurally water-proofed, with this work certified and periodically inspected. Trades should be closely monitored so they do not subsequently damage completed waterproofing
- All planters shall be irrigated with an automated system set on an approved watering pattern. Moisture gauges should be installed in some planters to minimize overwatering
- **Tree Anchors** shall be installed in high wind areas to larger plants, such as palms & small trees
- Compliance for balustrades and handrails should be monitored
- For the maintenance of large rooftop areas and planters without external balustrades, anchoring points for tying off harnesses for landscape maintenance workers are essential



- Planting in raised planter over slab to

planter over slab to - 1 G. 'Honey Gem'

Small tree in raised

Planting in raised planter over slab to include: - 6 W. 'Aussie Box' - 9 S. 'Tiny Trev'

AUG 2022

CHECKED:

R.F

- 5 A. 'Rubra' - 12 R. equisetiformis - 9 D. 'Tasred'







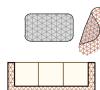




BBQ unit



Decorative gravel



Outdoor lounges/stool to be nom by client

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	Phone: 9922 5312 Fax: 8209 4982 Mob: 0413 861 351	
J US	www.conzept.net.au enquiries@conzept.net.au	

	COUNCIL	REV	DATE	NOTA
101, 506 Miller Street,	PARRAMATTA	Α	17.06.2022	Preliminary DA pre
IMERAY NSW 2062		В	26.07.2022	Co-ordinated with
ne: 9922 5312		С	08.08.2022	Issued for DA
8209 4982 : 0413 861 351	CLIENT	D	11.08.2022	Co-ordinated with
	SW DEVELOPMENTS PTY LTD			
r.conzept.net.au uiries@conzept.net.au				

ATION/AMENDMENT epared for review

amended architectural & stormwater plan

amended architectural plan & comments

PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT 9-11 THALLON STREET

CARLINGFORD



- 2 A. 'Rubra'

- 6 Z. furfuracea

- 10 R. equisetiformis

- 5m2 D. 'Silver Falls'

Small tree in raised planter over slab

#### PLANT PALETTE SAMPLE IMAGES



Fraxinus 'Raywoodii'





Acer palmatum 'Sango Kaku'



Elaeocarpus reticulatus

Syzygium 'Cascade'



Eucalyptus tereticornis

Syzygium 'Tiny Trev'

















Callistemon 'Slim'



Backhousia myrtifolia

Dodonaea viscosa 'Purpurea'







Doryanthes excelsa



Figured dimensions take preference to scale readings. Verify all dimensions on site. PDP of plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.

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withdraw this information from the assessment process if such payments are not made following the notification period.

Trachelospernum 'Tricolour'







LANDSCAPE ARCHITECT:



		COUNCIL	
Suit 101, 506 Miller Street, CAMMERAY NSW 2062		PARRAMATTA	
Phone: 9922 5312 Fax: 8209 4982		CLIENT	
Mob: 0413 861 351		SW DEVELOPMENTS PTY LTD	
www.conzept.net.au enquiries@conzept.net.au		ON BEVELOT MENTOT TO ETB	
			1

### 1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works

- The landscape plans should be read in conjunction with the architectural plans, project arborist's assessment, hydraulic plans, service plans and survey prepared for the proposed development.
- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the
- commencement of hardscape works and hardstand pours. All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention. Where an Australian Standard applies for any landscape material testing or installation technique, that

#### 1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

#### 1.03 PROTECTION OF EXISTING TREES

the root zone of existing trees to be retained.

Existing trees identified to be retained shall be done in accordance with (AS)4970-Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to

oversee such works and manage tree health. Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

#### 1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following: - Construction of a sediment trap at the vehicle access point to the subject site.

- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect

- Earth banks to prevent scour of stockpiles - Sandbag kerb sediment traps

- Straw bale & geotextile sediment filter. - Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

#### 2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix

#### New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches.

#### The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or

other approved lawn top dress

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks,

#### rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION (TO GARDEN OUTSIDE OF TREE PROTECTION ZONES OF TREES RECOMMENDED TO BY

## Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

NI testing is to be conducted in accordance with AS 1289 Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to

Note that a soil test conducted by the "Sydney Soil Lab" or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form

of marking, ready for inspection and approval. Locate all services. c) Establishing Subgrade Levels outside of tree protection zones of trees to be retained

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil

conditioner). The following subgrade levels shall apply: Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

 Turf areas - 100mm below finished surface level. Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

### d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix

### e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to

## outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes. Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth

50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

and good growing medium in preparation for planting. Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm. Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for

### planting and turfing.

### **PLANTING**

### 3.01 MATERIALS

#### a) Quality and Size of Plant Material All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2018 'TREE STOCK FOR LANDSCAPE USE' Certification that trees have been grown to AS 2303:2018 is to be provided upon request of Council's Tree Management Officer

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without

written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

straight hardwood, free of knots and pointed at one end. They shall be 1800mm x 50mm x 50mm Hardwood timber, or as

you or any other person as a result of your use of this drawing

agreed payments are made in full. We retain the right to

payments are not made following the notification period.

AILA Associate

## Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted,

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per council specification where is available. Ties shall be 50mm wide hessian webbing material

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rotected by copyright. All rights are reserved. Unless permitted
Sulphurcrest Enterprises (T/A Conzept) until such time as all

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants. specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

screenings or similar.

3.02 INSTALLATION

a) Setting Out

b) Planting

shall use species that match existing on street.

rolled immediately following installation

HARDSCAPE WORKS

by manufacturers specification.

Division on (02) 8836 5332

latest Sydney Water Code

engagement.

**IRRIGATION WORKS** 

4.01 GENERAL

wall to suit site levels and to manufacture's specification.

5.01 GENERAL (PERFORMANCE SPECIFICATION)

standards and to maximise the efficient usage of water.

suit. Supply shall be from local hose cock where available.

penetration through slabs and planter walls for water and power provisions.

Upon completion of installation, the system shall be tested, including:

- A full 12 month warranty shall be included to cover labour and all parts

- On request, a detailed irrigation performance specification report can be issued.

as agreed to in the landscape contractors contractual obligations.

This shall include, but not be limited to, the following items where and as required:

• Mowing lawns & trimming edges each 14 days in summer or 18 days in winter

superintendent or landscape architect, the responsibility will be signed over to the client.

position at 500mm centres with galv wire pins.

identify the preferred service and conduit locations.

power provision and water supply.

over a determined length of time

Testing & Defects:

exceed 300Kpa.

immediately rectified.

Further Documentation

6.01 GENERAL

**CONSOLIDATION AND MAINTENANCE** 

The consolidation and maintenance period shall be either

or as specified by Council in the Determination.

any defects that become apparent in the contracted works.

Clearing litter and other debris from landscaped areas.

Replacement of damaged, stolen or unhealthy plants.

Make good areas of soil subsidence or erosion

Spray / treatment for Insect and disease control

Fertilizing with approved fertilizers at correct rates

Topping up of mulched areas.

Adjusting ties to Stakes

ARCHITECT

· Removing weeds, pruning and general plant maintenance

· Watering all planting and lawn areas / irrigation maintenance

Maintenance of all paving, retaining and hardscape elements.

Mulch for general planter bed shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be

completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required

Turf for project site shall be soft leaf Buffalo or Zoysia macrantha 'Nana' or equivalent unless stated otherwise), free

from any weeds and other grasses, and be in a healthy growing condition. Re-turfing to nature strip where is required

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as

on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets

and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil

mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement

Mulch for general planter bed shall be an approved equal to "Forest Fine" as supplied by ANL. Mulch shall be completely

free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be

non-floatable materials that could include crushed rock, gravel, scoria or river pebbles. 4-7mm screenings or similar.

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent

surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls

cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be

All walls which form part of drainage works must be built as detailed by the hydraulic engineer. All walls exceeding

800mm shall be of **not** timber construction materials, construction details to be provided by a qualified engineer. Install

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed,

Paying - refer to typical details provided, and applicable Australian Standards. Permeable paying may be used

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the

Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant

Australian standards, including AS 3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 2011, & the

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the

This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation

suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.

- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in

Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and

- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to

- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area,

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken

the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not

- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the

6 months beginning from the approved completion of the specified construction work (Practical Completion)

A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation

and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural

practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the

LANDSCAPE ARCHITECT

capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be

- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to

- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to

- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than

arise from hardscape variations should be bought to the attention of the Landscape Architect.

Australia, Laws of the State of NSW, City of Parramatta Council By-Laws and Ordinances.

system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.

- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.

as a suitable means of satisfying Council permeable surface requirements, while providing a useable,

hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to

located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to

shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm

d) Mulch

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PARRAMATTA SW DEVELOPMENTS PTY LTD

WATER-PROOFING SHALL BE

STRUCTURAL

DOCUMENTED BY A

HYDRAULIC ENGINEER

REV DATE NOTATION/AMENDMENT A 17 06 2022 Preliminary DA prepared for review B 26.07.2022 Co-ordinated with amended architectural & stormwater plan C 08.08.2022 Issued for DA D 11.08.2022 Co-ordinated with amended architectural plan & comments

SCALE: 1:15

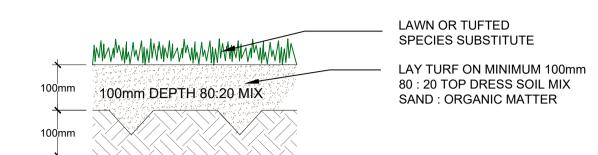
PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT 9-11 THALLON STREET CARLINGFORD

INSITU CONCRETE PLANTER ON SLAB DETAIL

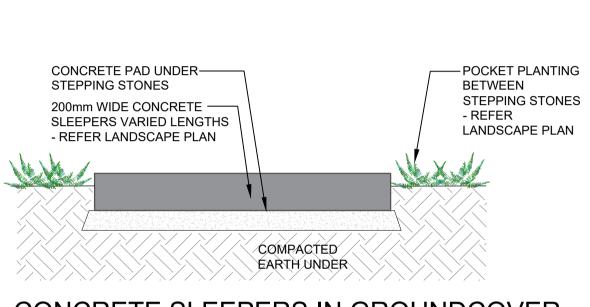
-STAGGERED PLANTING TO SPECIFIED DENSITIES AS SHOWN PLANTS AS PER SCHEDULE

## MASS PLANTING SETOUT

N.T.S

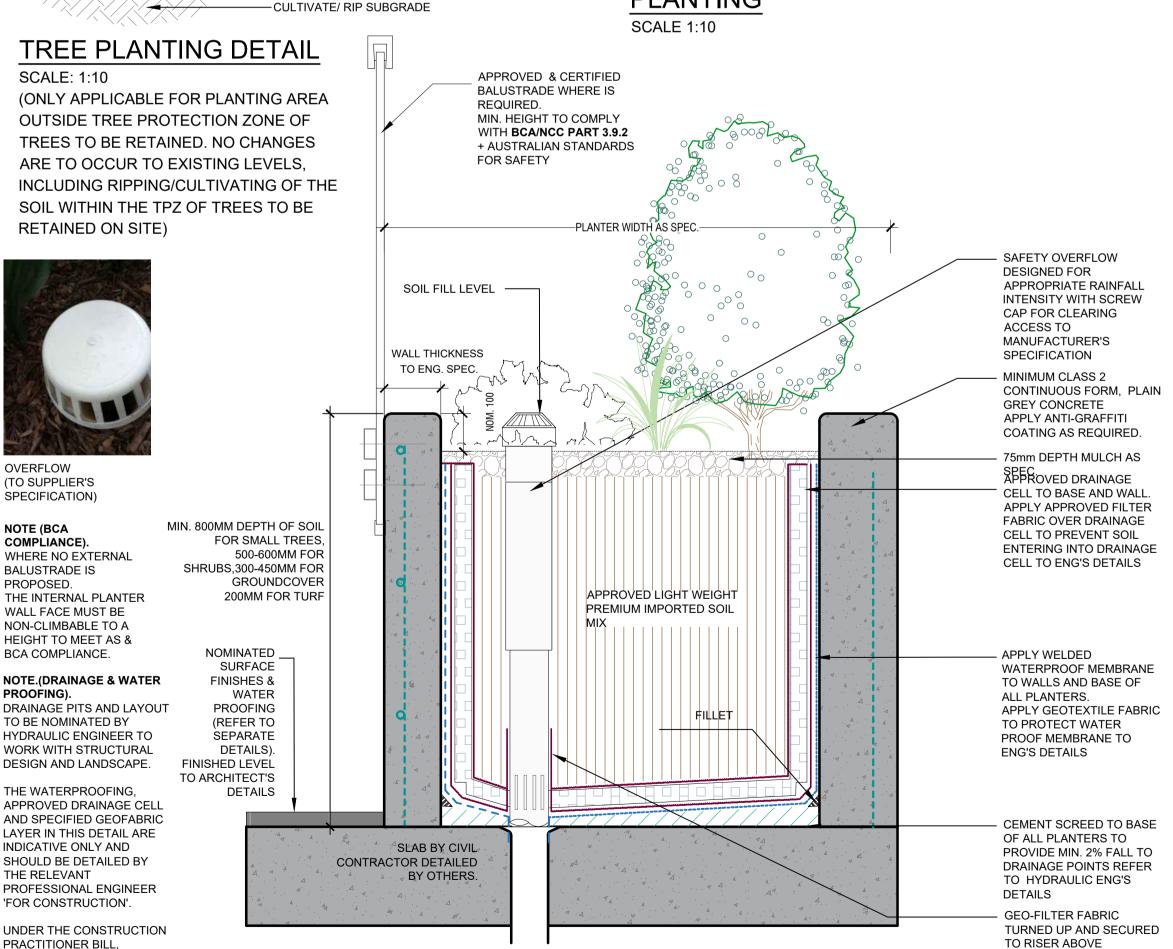


## TYPICAL TURF DETAIL



## CONCRETE SLEEPERS IN GROUNDCOVER **PLANTING**

DRAINAGE OPENING



1. CHAIN WIRE MESH PANELS WITH

ATTACHED, HELD IN PLACE WITH

WOODEN PALING FENCE PANELS. THE

FENCING MATERIAL ALSO PREVENTS

SURFACE OF TPZ (AT THE DISCRETION

ACTIVITY, GRADE CHANGES, SURFACE

MATERIALS OF ANY KIND IS PERMITTED

THE TPZ. INSTALLATION OF SUPPORTS

5. PRUNING & MAINTENANCE TO TREE

REFER TO AS 4373-2007 PRUNING OF

4. BRACING IS PERMISSIBLE WITHIN

SHADE CLOTH (IF REQUIRED)

2. ALTERNATIVE PLYWOOD OR

BUILDING MATERIALS OR SOIL

3. MULCH INSTALLATION ACROSS

OF THE PROJECT ARBORIST). NO

EXCAVATION, CONSTRUCTION

TREATMENT OR STORAGE OF

TO AVOID DAMAGING ROOTS

CONCRETE FEET

ENTERING THE TPZ

WITHIN THE TPZ

AMENITY TREES

PLANT STOCK SHALL BE SOURCED FROM

WATER IN ALL NEWLY PLANTED STOCK

IMMEDIATELY AFTER PLANTING.

QUALITY OF PLANT TO BE

MANAGER OR LANDSCAPE

- PROVIDE 3 HARDWOOD STAKES

TREES. USE 50mm HESSIAN TIES

TO SECURE LOWER TRUNK TO

1.8m X 50mm X 50mm FOR ALL

APPROVED BY PROJECT

ARCHITECT

PROVIDE SLIGHT

OR EQUAL

ARCHITECT

DEPRESSION TO ALLOW

BACKFILL HOLE WITH

CLEAN, TESTED SITE

TOP-SOIL BLEND OR

IMPORTED SOIL MIX

FOR EFFECTIVE WATERING

-75mm 'FOREST FINE' MULCH

APPROVED BY LANDSCAPE

GROWERS CONFORMING TO AS 2303:2018 'TREE

STOCK FOR LANDSCAPE USE' THOROUGHLY

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE.

FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED

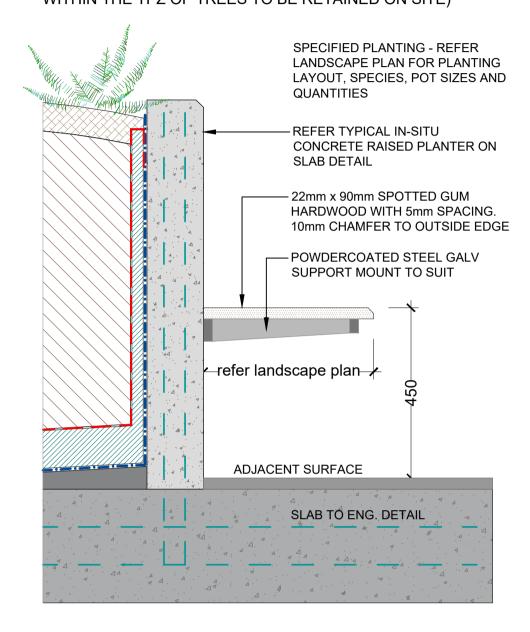
ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

TREE PROTECTION ZONE

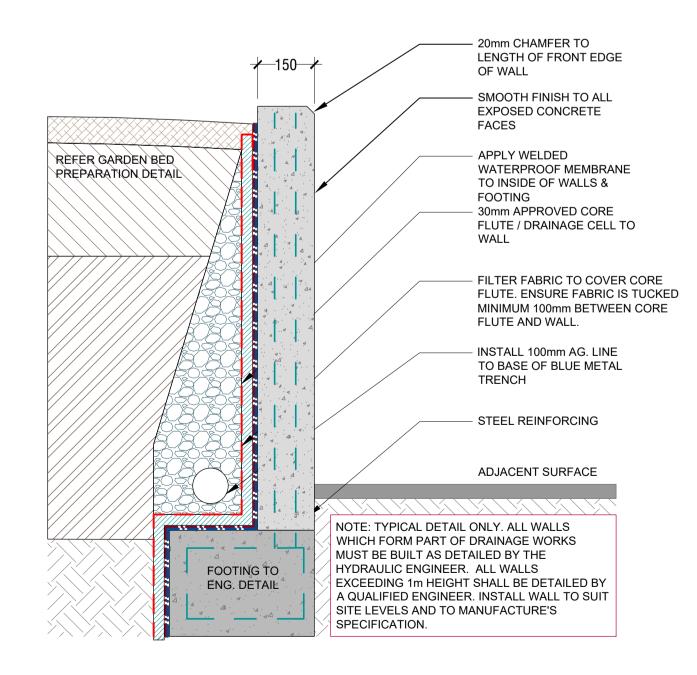
#### TYPICAL SETBACK FROM LAWN/GARDEN EDGE 75mm DEPTH "FOREST FINE" MULCH OR **EQUIVALENT** SOIL MIX: SPECIFIED 50% OF STOCKPILED SITE TOPSOIL PLANTING & FREE FROM ALL BUILDER'S RUBBISH POT SIZE AND DELETERIOUS MATERIALS. TOPSOIL TO BE AMELIORATED, MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ 300mm DERTH SOIL MIX BLEND COMPOSTED ORGANIC MATTER - SEE USE 100% IMPORTED SOIL MIX WHEN SUBSOIL CULTIVATED TO 100mm SITE TOPSOIL RUNS OUT.

## TYPICAL GARDEN PREPARATION DETAIL

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)

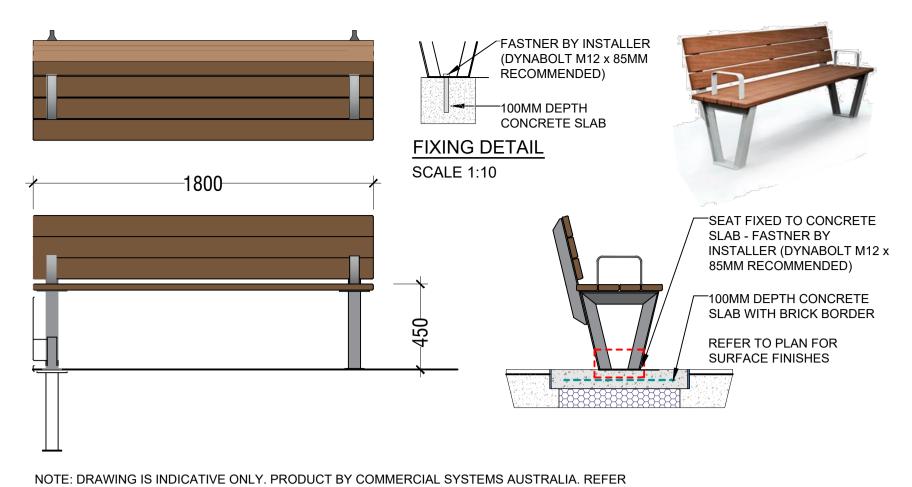


## TIMBER BENCH SEATING FIXED TO WALL DETAIL



## TYPICAL IN SITU RETAINING WALL DETAIL **SCALE 1:10**

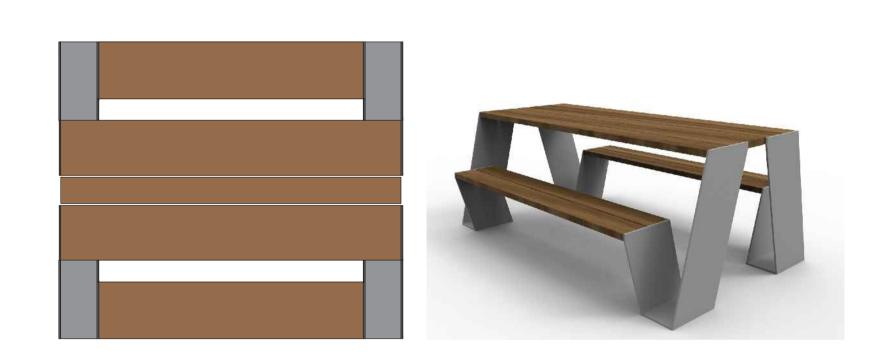
DEVELOPMENT APPLICATION **DETAILS & SPECIFICATION** AUG 2022 AS SHOWN @ A1 R.F LPDA 22 - 389 D

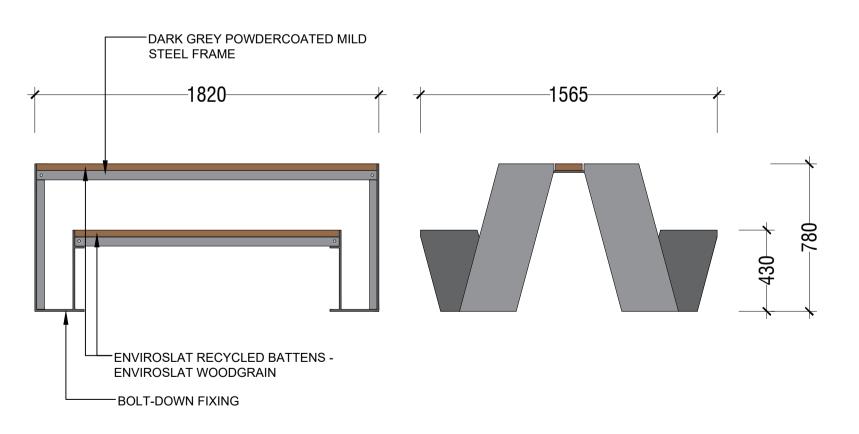


MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR INSTALLATION

## MONACO BENCH SEAT BY GOSSI

APPROX 1:20

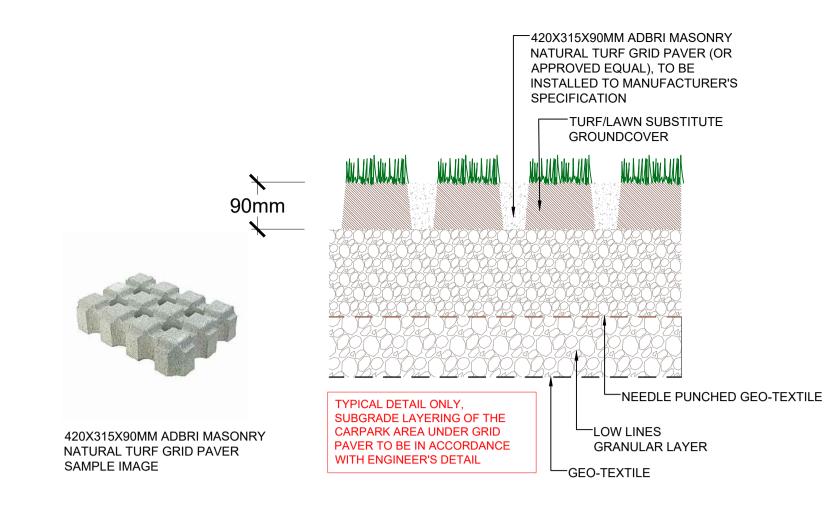




NOTE: DRAWING IS INDICATIVE ONLY. PRODUCT BY COMMERCIAL SYSTEMS AUSTRALIA. REFER MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR INSTALLATION

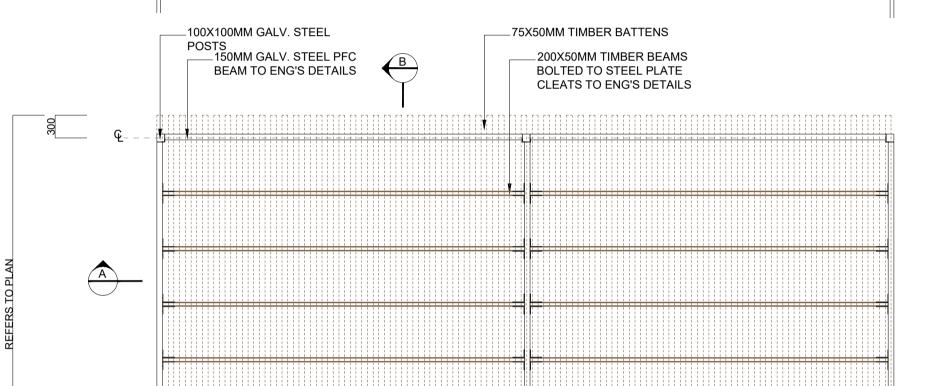
## ODYSSEY PICNIC SETTING BY CSA - PRODUCT CODE: TM4170 SCALE 1:20

# **Groundcover Mix (Sun): Botanical Name** Lomandra longifolia Carex appressa Juncus amabilis Isolepis nodosa



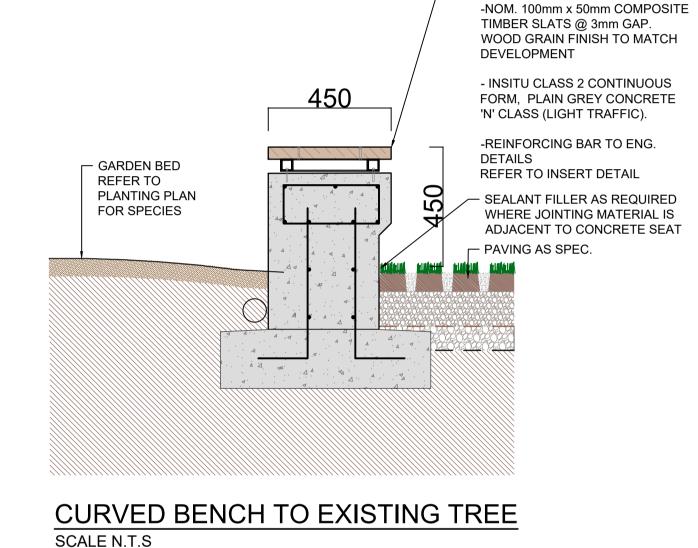
SCALE 1:10

## MONACO BENCH SEAT BY GOSSI APPROX 1:20



REFERS TO PLAN

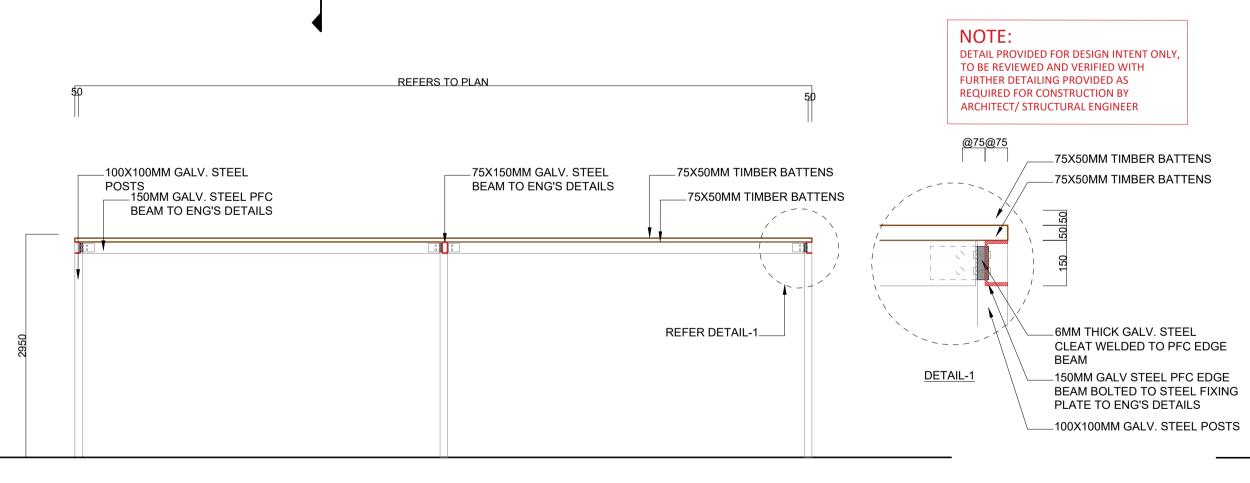




ADBRI MASONRY TURF GRID PAVER DETAIL

- TIMBER ON CONCRETE BLOCK

**BENCH TO HAVE** 



\_75X50MM TIMBER BATTENS 75X50MM TIMBER BATTENS \_200X50MM TIMBER BEAMS BOLTED TO STEEL PLATE CLEATS TO ENG'S DETAILS REFER DETAIL-2-DETAIL-2 200X50MM TIMBER BEAMS -BOLTED TO STEEL PLATE **SECTION B-B** CLEATS TO ENG'S DETAILS 6MM THICK GALV. STEEL CLEAT WELDED TO PFC EDGE BEAM

REFERS TO PLAN

TYPCIAL PERGOLA DETAIL SCALE 1:20

**SECTION A-A** 

### GENERAL NOTE: Figured dimensions take preference to scale readings. Verify all dimensions on site. PDFd plans may vary slightly in Scale for that indicated on plans. Report any whether special, consequential, direct or indirect, suffered by site. PUP of pairs may lay slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work. © Copyright Sulphurcrest Enterprises Ply Ltd Trading as CONZEPT (ABN: 75 632 405 630) This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior means be reproduced, published, broadcast or transmitted without the prior

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Ces	enquiries@conzept.net.au	

CIL	REV	DATE	NOTATION/AMENDMENT
RAMATTA	Α	17.06.2022	Preliminary DA prepared for review
	В	26.07.2022	Co-ordinated with amended architectural & stormwater plan
	С	08.08.2022	Issued for DA
Т	D	11.08.2022	Co-ordinated with amended architectural plan & comments
DEVELOPMENTS PTY LTD			

PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT 9-11 THALLON STREET CARLINGFORD

TITLE:		STATUS:			
DETAILS			DEVELOPMENT APPLICATION		
DETAILO			SCALE:	DATE:	
			AS SHOWN @ A1	AUG 2022	
DWG.No:	SHEET:	ISSUE:	DRAWN:	CHECKED:	
LPDA 22 - 389	07	D	K.Z	R.F	

150MM GALV. STEEL PFC\_

BEAM TO ENG'S DETAILS



## 5 / 45-55 Epsom Road Rosebery NSW 2018

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ABN 34 620 484 602

ELECTRICAL ● FIRE ● HYDRAULIC ● MECHANICAL ● STRUCTURAL● CIVIL ● FACADES



SITE LAYOUT (SOURCE: SIX MAPS)

PROJECT ADDRESS:
9-11 THALLON STREET CARLINGFORD NSW
DRAWING INDEX & COVER SHEET: CIVIL & STORMWATER

PROJECT No.	DWG No.	DWG TITLES	REVISION
AC 3374	C000	INDEX SHEET	01
	C001	GENERAL NOTES	01
	C100	SEDIMENTATION & EROSION CONTROL PLAN	01
	C101	SEDIMENTATION & EROSION CONTROL DETAILS	01
	C102	AREA ANALYSIS & ENGINEER NOTES	01
	C200	BASEMENT-3 STORMWATER MANAGEMENT PLAN	01
	C201	BASEMENT-2 STORMWATER MANAGEMENT PLAN	01
	C202	BASEMENT-1 STORMWATER MANAGEMENT PLAN	01
	C203	GROUND FLOOR STORMWATER MANAGEMENT PLAN	01
	C204	LEVEL-01 STORMWATER MANAGEMENT PLAN	01
	C300	OSD CALCULATION & ASSOCIATED DETAILS	01
	C301	MUSIC MODEL OUTCOME & WSUD DETAILS	01
	C302	MISC STORMWATER DETAILS	01
	C400	PUBLIC DOMAIN WORKS- PLAN	01
	C401	PUBLIC DOMAIN WORK - FOOTPATH PROFILE	01
	C402	COUNCIL STANDARD DETAILS	01



SATELLITE MAP (SOURCE: SIX MAPS)

## ISSUE FOR DA

N.T.S

ISSUE	DATE	AMENDMENT	ARCHITECT	CLIENT
00	11.08.2022	ISSUE FOR DISCUSSION		
01	13.08.2022	ISSUE FOR DA		
			DICKSON ROTHSCHILD	
			C DICKGON HOTHISSINES	

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9-11 THALLON — STREET CARLINGFORD

NORTH:	SCALE:	VERIFIED :
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		DESIGNED
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shall be read in conjunction	I refer any discrepancies to the engineer before proceeding with the work. This drawing with other contract documents, drawings and project specifications. This file has been ogram with the latest virus update. However as new viruses are discovered everyday we canned upon receipt.	

VERIFIED :	DRAWING TITLE :	DATE :	SCAI
AC	COVER SHEET & DRAWING INDEX	13/08/2022	
DESIGNED :		PROJECT No:	REV
HR	PROJECT:	AC 3374	
DRAWN:	9-11 THALLON STREET	DRAWING No :	
RQ	CARLINGFORD NSW 2118	C00	0

### STANDARD NOTES

- 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 2. MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT CODES AND AUTHORITY.
- 3. THE CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTON OVER THE WORKS.
- 4. THESE DRAWINGS MUST NOT BE SCALED
- 5. ALL DIMENSIONS AND REDUCED LEVELS MUST BE VERIFIED ON SITE BEFORE THE COMMENCEMENT OF ANY WORK.
- 6. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
- 7. ALL LEVELS SHOWN ARE TO THE AUSTRALIAN HEIGHT DATUM.
- 3. SERVICE INFORMATION SHOWN IS BASED ON PLANS SUPPLIED BY AUTHORITIES AND IS APPROXIMATE ONLY. PRIOR TO COMMENCEMENT OF ANY WORKS, THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND SERVICES AND COMPLY WITH ALL REQUIREMENTS OF THOSE AUTHORITIES
- 9. EXISTING SURFACE CONTOURS, WHERE SHOWN, ARE INTERPOLATED AND MAY NOT BE ACCURATE
- 10. UNLESS NOTED OTHERWISE, ALL VEGETATION SHALL BE STRIPPED TO A MINIMUM DEPTH OF 150mm UNDER ALL PROPOSED PAVEMENT AND BUILDING AREAS.
- 11. PRIOR TO THE PLACEMENT OF ANY PAVEMENTS, BUILDINGS OR DRAINS THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 100% STANDARD COMPACTION IN ACCORDANCE WITH TEST 'E1.1' OF A.S. 1289 FOR THE TOP 300mm. ANY SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH GRANULAR FILL TO THE ENGINEERS APPROVAL AND COMPACTED IN ACCORDANCE WITH THE COMPACTION REQUIREMENTS SET OUT BELOW. ON HIGHLY REACTIVE CLAY AREAS SITE EXCAVATED MATERIAL MAY BE USED WITH THE PRIOR AUTHORISATION OF THE ENGINEER.
- 12. ALL FILL AND PAVEMENT MATERIALS SHALL BE COMPACTED IN 200mm MAXIMUM LOOSE THICKNESS LAYERS TO THE **DENSITIES SPECIFIED BELOW:**

LANDSCAPED AREAS

90% STD.

FILL UNDER ANY FOOTINGS AND FLOOR SLABS FOR ANY STRUCTURE

- FINE CRUSHED ROCK - OTHER FILL

95% MOD. 95% SMDD

FILL UNDER ROAD PAVEMENTS

- FINE CRUSHED ROCK - OTHER FILL

95% MOD. 100% SMDD

ROAD PAVEMENT MATERIALS

- SUB BASE - BASE COURSE 95% MOD. 98%

- 13. GRADE EVENLY BETWEEN FINISHED SURFACE SPOT LEVELS. FINISHED SURFACE CONTOURS ARE SHOWN FOR CLARITY WHERE FINISHED SURFACE LEVELS ARE NOT SHOWN, THE SURFACE SHALL BE GRADED SMOOTHLY SO THAT IT WILL DRAIN AND MATCH ADJACENT SURFACES OR STRUCTURES.
- 14. UNLESS NOTED OTHERWISE ON HYDRAULIC CONSULTANTS DESIGN DRAWINGS, ALL DOWNPIPES & GRATED INLETS SHALL BE CONNECTED TO PITS OR MAIN STORMWATER DRAINS WITH UPVC OR EARTHENWARE PIPES OF THE FOLLOWING SIZES LAID AT A MINIMUM GRADE OF 1 IN 100:
- A. 100 DIA. FOR DOMESTIC CONSTRUCTION
- B. 150 DIA. FOR COMMERCIAL/INDUSTRIAL
- CONSTRUCTION C. 100 DIA. FOR BASEMENT GRATED INLETS
- FOR SIPHONIC ROOF DRAINAGE SYSTEMS ALL DOWNPIPES CONNECTION DRAIN SIZES TO BE CONNECTED INTO MAIN STORMWATER DRAINS SHALL BE IN ACCORDANCE WITH HYDRAULIC ENGINEERS DRAWINGS.
- 15. ALL MAIN STORMWATER DRAINS SHALL BE CONSTRUCTED USING ONE OF THE FOLLOWING TYPES OF PIPES WITH **RUBBER RING JOINTS:**
- A. CLASS 2 RCP IN ACCORDANCE WITH A.S. 4058
- B. SEWER CLASS SEH U.P.V.C. IN ACCORDANCE WITH A.S. 1260
- C. CLASS 2 F.R.C. TO A.S. 4139
- ANY OTHER TYPES OF PIPE MUST BE REFERRED TO THE ENGINEER FOR APPROVAL PRIOR TO USE.

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IF UPVC, OR OTHER PIPES ARE TO BE USED APPROVAL MUST BE GIVEN BY THE ENGINEER FOR CLASS, BEDDING AND BACKFILL REQUIREMENTS.

### STANDARD NOTES CONT.

- 16. GENERALLY FOR TRENCHING WORKS THE CONTRACTOR
- A. COMPLY WITH THE GENERAL PROVISIONS OF SECTION 21 OF THE 'OCCUPATIONAL HEALTH AND SAFETY ACT'
- B. COMPLY WITH WITH THE 'OCCUPATIONAL HEALTH AND SAFETY CODE OF
- PRACTISE FOR SAFETY PRECAUTIONS IN TRENCHING **OPERATIONS'**
- 17. PRIOR TO THE EXCAVATION OF ANY TRENCH DEEPER THAN 1.5 METRES THE CONTRACTOR MUST:
  - A. NOTIFY THE OCCUPATIONAL HEALTH AND SAFETY AUTHORITY ON THE APPROPRIATE FORM.
  - B. NOMINATE THE MINE MANAGER FOR THE PROJECT
  - C. CARRY OUT ALL EXCAVATION WORKS IN ACCORDANCE WITH THE REQUIREMENTS OF THE 'MINES ACT 1958 **REGULATIONS AND STATUTORY RULES'**
- 18. ALL DIMENSIONS GIVEN ARE TO FACE OF KERB, CENTRE OF PIPE OR EXTERIOR FACE OF BUILDING UNLESS NOTED **OTHERWISE**
- 19. ANY STRUCTURES, PAVEMENTS OR SURFACES DAMAGED, DIRTIED OR MADE UNSERVICABLE DUE TO CONSTRUCTION WORK SHALL BE REINSTATED TO THE SATISFACTION OF THE ENGINEER.
- 20. REFER TO STRUCTURAL DRAWINGS FOR FOOTING AND FOUNDATION DETAILS.
- 21. ANY FILL REQUIRED SHALL BE APPROVED BY THE ENGINEER
- 22. CONTRACTOR IS TO ENSURE THAT ALL EXCAVATIONS ARE MAINTAINED IN A DRY CONDITION WITH NO WATER ALLOWED TO REMAIN IN THE EXCAVATIONS.

## TELSTRA - DUTY OF CARE NOTES

TELSTRA'S PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND TELSTRA DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY. THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR TELSTRA CABLES AND PLANT. BEFORE USING MACHINE EXCAVATORS TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLING TO IDENTIFY IT'S LOCATION TELSTRA WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO IT'S PROPERTY AND LOSSES CAUSED TO TELSTRA AND IT'S CUSTOMERS.

## **EXISTING UNDERGROUND SERVICES NOTES**

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. CORE CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY. CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS. CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH. PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

CLIENT

## SITEWORKS NOTES

- 1. DATUM: Australian Height Datum (AHD) ORIGIN OF LEVELS: PM 31140 RL 106.355 (AHD) **ORIGIN OF CO-ORDINATES:** SURVEY PREPARED BY: G & R SURVEYING SERVICES
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK, AND REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
- ALL EXISTING SERVICES (INCLUDING ANY NOT SHOWN ON THE PLANS) MUST BE ACCURATELY LOCATED IN POSITION AND LEVEL PRIOR TO ANY EXCAVATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. MINIMUM SERVICE CLEARANCES SHALL BE MAINTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- THE CONTRACTOR SHALL ARRANGE FOR ALL SETTING OUT BY A REGISTERED SURVEYOR.
- THE CONTRACTOR SHALL OBTAIN ALL REGULATORY AUTHORITY APPROVALS AT THEIR OWN EXPENSE.
- WHERE NEW WORKS ABUT EXISTING, THE CONTRACTOR MUST ENSURE THAT A SMOOTH AND EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, UNLESS SPECIFIED OTHERWISE.
- EXCAVATED TRENCHES SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT NATURAL MATERIAL. ANY SUBSIDENCES DURING THE PERIOD TO BE RECTIFIED AS DIRECTED BY THE SUPERINTENDENT.
- ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DETAILS AND/OR BY -

PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE, ENSURING THAT NOTHING IS NAILED TO THEM, PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS -ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5m OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER, A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (eg A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300mm CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND

10. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY, DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SUPERINTENDENT OR AS SPECIFIED IN THE WORKS CONTRACT.

## **EXISTING SERVICES NOTES**

- ES1 ALL EXISTING SERVICES MAY NOT HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
- ES2 THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF **EXCAVATION AND REMOVAL IF REQUIRED OF ALL** REDUNDANT EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- ES3 THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- ES4 IF REQUIRED, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT SERVICE AUTHORITY.
- ES5 INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. THE CONTRACTOR IS TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION - THE CONTRACTOR IS RESPONSIBLE FOR ALL LIAISON
- ES6 ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80mm uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND THE EDGE OF PAVING.
- ES7 CLEARANCE AND COVER REQUIREMENTS SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY BEFORE COMMENCEMENT OF WORKS AND SHALL BE ADHERED TO AT ALL TIMES.
- ES8 CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS ONLY.

## GENERAL DRAINAGE NOTES

### GENERAL DRAINAGE NOTES:

- 1. IT IS THE RESPONSIBILITY OF OWNER TO CHECK AND ENSURE THE EXISTENCE AND THE LEGAL ASPECTS OF ANY EASEMENTS IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND ENSURE THE EXISTENCE OF ANY DRAINAGE PIPES AND OTHER SERVICES ON SITE PRIOR TO CONSTRUCTION ALL LEVELS MUST BE VERIFIED ON SITE START FROM THE MOST DOWNSTREAM POINT
- 2. THIS DRAINAGE PLAN SHOULD BE READ STRICTLY IN ACCORDANCE WITH THE COUNCIL APPROVED ARCHITECTURAL PLANS
- 3. LOCATIONS OF DOWN PIPES TO BE CONFIRMED BY THE ARCHITECT
- 4. DEPTH AND LOCATION OF SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.
- 5. ALL GUTTERS TO BE MIN STRAMIT 115 QUAD OR EQUIVALENT
- 6. ALL BALCONIES TO HAVE FLOOR WASTE CONNECTED TO DOWNPIPE
- 7. ALL DRAINAGE PIPES ARE TO BE UPVC GRADE, UNLESS
- 8. THE MINIMUM COVER OVER ALL DRAINAGE PIPES IS TO BE 150mm.
- GRADIENT OF 1 10. ALL DRAINAGE PITS ARE TO BE INSTALLED WITH A CHILD

9. ALL DRAINAGE PIPES ARE TO HAVE A MINIMUM PIPE

**UNLESS NOTED OTHERWISE** 

SCALE:

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- PROOF SAFETY LATCH ON THE ACCESS GRATE 11. ALL DOWNPIPES ARE TO BE 100 x 50 SQUARE BOX SECTIONS
- 12. ALL PITS TO BE CONSTRUCTED ARE SHOWN IN REINFORCED CONCRETE. HOWEVER PRECAST OR BRICK PITS OF SIMILAR SIZE AND CONSTRUCTION AND TO THE SAME LEVELS ARE ACCEPTABLE.

### **EARTHWORKS NOTES**

- EW1 ALL WORK SHALL COMPLY WITH AS3798 (1996) -GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
- EW2 ALL WORK SHALL COMPLY WITH THE PROJECT GEOTECHNICAL REPORT GEOTECHNICAL ENGINEER (NOT SIGHTED)
- EW3 STRIP TOPSOIL TO EXPOSE NATURALLY OCCURRING ENGINEERING MATERIAL AND STOCKPILE ON SITE FOR REUSE AS DIRECTED BY THE SUPERINTENDENT.

REPORT REFERENCE NUMBER (NOT SIGHTED)

- EW4 ALL SOFT, WET OR UNSUITABLE MATERIAL TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED FILL MATERIAL.
- EW5 ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING a) FREE FROM ORGANIC AND PERISHABLE MATTER, b) MAXIMUM PARTICLE SIZE 75mm, c) PLASTICITY INDEX - BETWEEN 2% AND 15%.
- EW6 ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200mm THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289.5.1.1-2003-METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY -

#### LOCATION

STANDARD DRY DENSITY

UNDER BUILDING SLABS VEHICULAR PAVED AREAS 100% NON-VEHICULAR PAVED AREAS 98% LANDSCAPED AREAS

- EW7 THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- EW8 TESTING OF THE FILL MATERIAL SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

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ISSUE FOR DA

N.T.S

**REVISION:** 

ARCHITECT AMENDMENT DATE 11.08.2022 ISSUE FOR DISCUSSION ISSUE FOR DA 13.08.2022 DICKSON ROTHSCHILD



5 / 45-55 Epsom Road Rosebery NSW 2018 02 8662 9300 core engineering

info@core.engineering

ABN 34 620 484 602 ELECTRICAL ● FIRE ● HYDRAULIC ● MECHANICAL ● STRUCTURAL● CIVIL ● FACADES

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NTS

**VERIFIED**:

AC

DRAWING TITLE

PROJECT 9-11 THALLON STREET

**CARLINGFORD NSW 2118** 

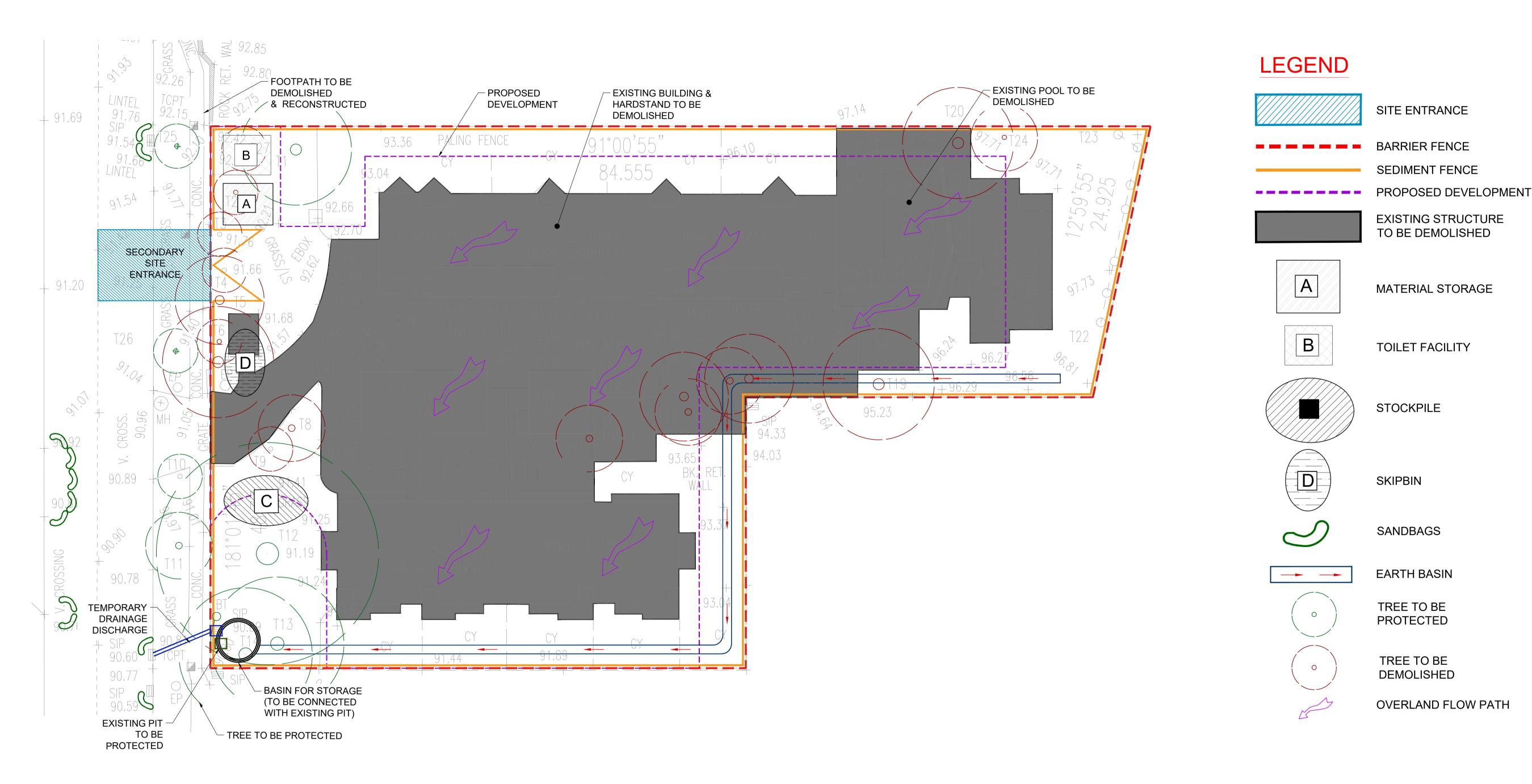
**GENERAL NOTES** 

AC 3374 DRAWING No.

PROJECT No:

13/08/2022

C001



SEDIMENTATION & EROSION CONTROL PLAN SCALE = 1:200

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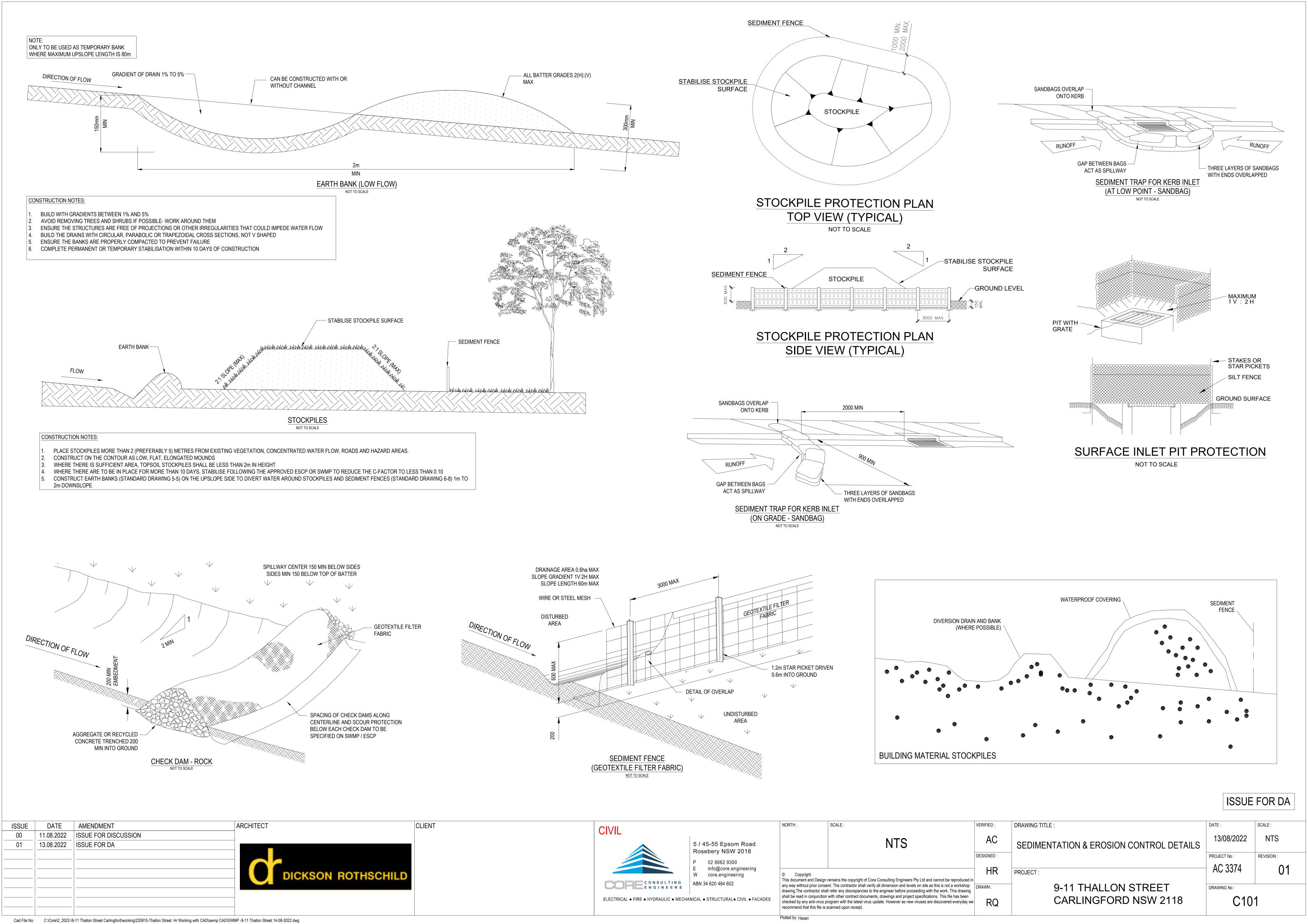
## NOTES:

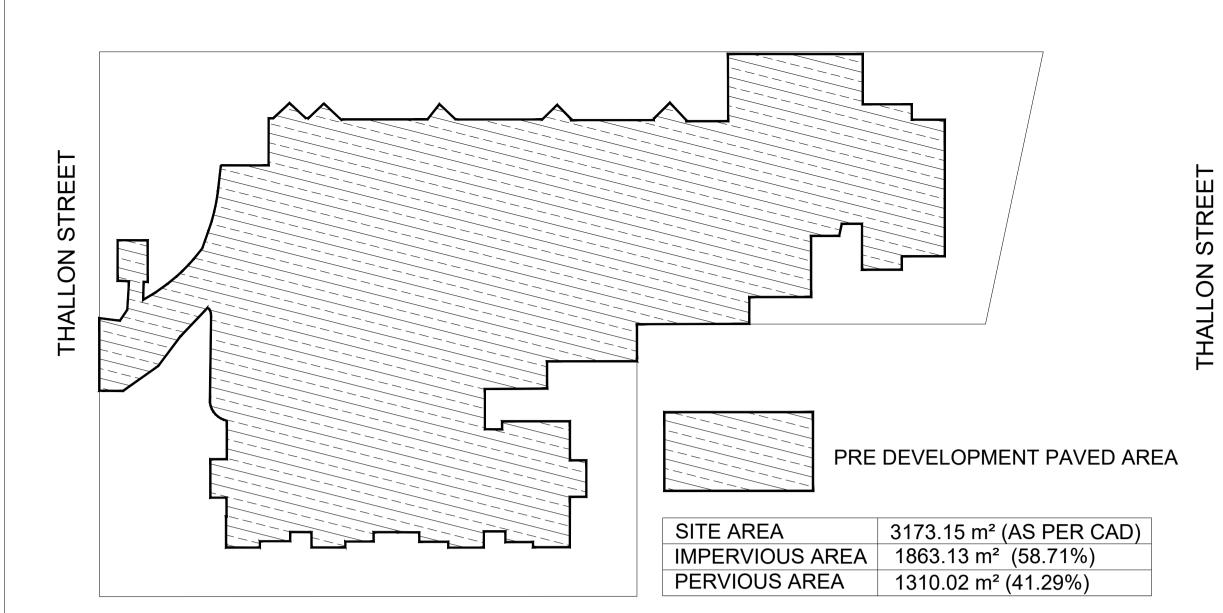
- 1. ALL EXISTING DRAINAGE NETWORK WITH IN THE EXISTING
- BUILDING FOOTPRINT NEEDS TO BE DISCONNECTED & REMOVED. 2. REFER TO ARBORIST REPORT FOR THE TREES TO BE PROTECTED AND RETAINED.

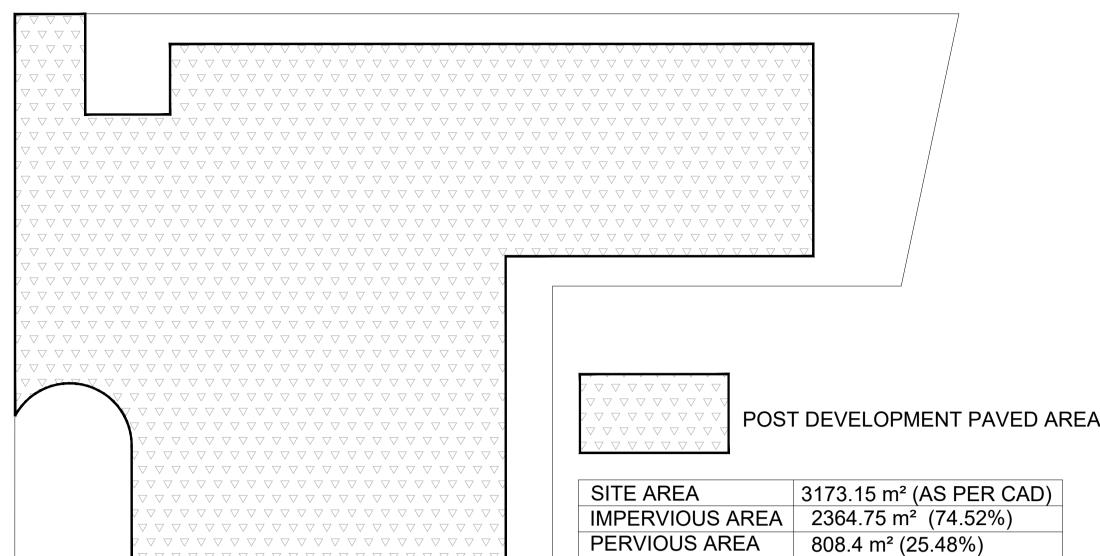
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		_				Rosebery NSW 2018		SCALE 1:200	DESIGNED:		PROJECT No:	REVISION:
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					CONSULTING ENGINEERS	ABN 34 620 484 602	· · · · · · · · · · · · · · · · · · ·	e contractor shall verify all dimension and levels on site as this is not a workshop	DRAWN :	9-11 THALLON STREET	DRAWING No :	
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## CATCHMENTS ANALYSIS

AS PER CATCHMENT ANALYSIS OF PRE AND POST DEVELOPMENT AREA IT IS EVALUATED THAT THERE IS NET INCREASE OF 15.81% (501.62 sqm) IN THE IMPERVIOUS AREA WHICH TAKES 74.52% OF THE SITE. AS PER COUNCIL DCP, STORMWATER MANAGEMENT PLAN IS PROPOSED WITH OSD & PUMP OUT SYSTEM IN ACCORDANCE WITH PARRAMATA COUNCIL DEVELOPMENT ENGINEERING DESIGN GUIDELINES, & AS3500.3. THE STORMWATER IS PROPOSED TO BE DISCHARGED TO COUNCIL DRAINAGE ASSET VIA GRAVITY.

## ENGINEER COMMENT (EASEMENT)

AS PER RECENT SITE VISIT OF THE DESIGN ENGINEER THE SITE SUPPORTS GRAVITY DRAINAGE AND COUNCIL DRAINAGE ASSET IS AVAILABLE ON THALLON STREET. UPON INVESTIGATION NO EASEMENT WAS OBSERVED ON SITE AND ON SURVEY. AREA ANALYSIS WAS DONE W.R.TO SURVEY AND PROPOSED DEVELOPMENT.

## DRAINAGE SCENERIO (RAINWATER REUSE)

AS PER BASIX, NO RAINWATER TANKS IS REQUIRED FOR WATER CONSERVATION AND REUSE. HYDRAULIC CONSULTANT WILL PROVIDE INTERNAL BUILDING HYDRAULICS COMPONENT WHICH WILL BE CONNECTED TO OSD & PUMPOUT PIT

## DRAINAGE SCENERIO (PRE DEVELOPMENT)

AS THE EXISTING BUILDING IS PROPOSED TO BE DEMOLISHED. ALL THE EXISTING DRAINAGE NETWORK NEEDS TO BE REMOVED AND REPLACED WITH NEW DRAINAGE NETWORK AS PROPOSED IN THE DRAWINGS. THE OLD SYSTEM SHALL BE DISCONNECTED AND REMOVED AND PROPERLY DISPOSED

## SITE INFORMATION

THE SITE LIES AT THE UPSTREAM OF PUBLIC RESERVE ON THE SOUTH OF THE SITE. THERE LIES A LARGE OVERLAND FLOW PATH WITH OSD ON THE SOUTHERN SIDE OF THE SITE. THIS OVERLAND FLOW IS DOCUMENTED AS PUBLIC RESERVE AND INTAKES STORMWATER FROM UPSTREAM AND DISCHARGE TO A DOWNSTREAM RESERVE PASSING THALLON STREET TOWARDS JENKINS ROAD. THIS OVERLAND FLOW PATH & ASSOCIATED AREA IS NOT EVALUATED AND SITE LIES IN THE UPSTREAM OF THIS PATHWAY.

## DRAINAGE SCENERIO (PROPOSED DEVELOPMENT)

ALL THE ROOF IS ADEQUATELY DRAINED WITH DOWNPIPES & RAINWATER OUTLETS, THIS DRAINAGE NETWORK IS CONNECTED TO UNDERGROUND DRAINAGE NETWORK AND OSD TANKS. TO COMPLY WITH COUNCIL DCP PUMPOUT PIT & OSD TANKS IS PROPOSED & STORMWATER IS DISCHARGE VIA GRAVITY TO DCP. THE STORMWATER FROM DISCHARGE CONTROL PITS IS DISCHARGE TO SW LINTEL WHICH IS AT LOCATED AT THE FRONT OF THE COUNCIL KERB LINTEL AT THALLON STREET

## ON SITE DETENTION

AS PER PLANNING PORTAL THE SITE LIES IN PARRAMATTA COUNCIL LGA. THEREFORE UPRCT R-3 GUIDELINE ARE USED FOR OSD CALCULATION. FURTHER PARRAMATTA COUNCIL DEVELOPMENT ENGINEER DESIGN GUIDELINE (ISSUED 2018) WAS UTILISED. AS PER FIGURE 3 THE SITE LIES ABOVE PONDS CREEK ON THE EAST OF VINEYARD CREEK (HIGHLIGHTED), AS PER TABLE-1 SSR & PSD IS ADVISED. HOWEVER SINCE THE SITE IS NEXT TO AN OVER LAND FLOW PATH. THEREFORE TO AVOID ANY CRITICAL STORM, A HIGHER VALUE OF 250 SSR IS UTILISED. REFER TO OSD CALCULATION PROVIDED ON C300

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## SEDIMENT CONTROL DEVICES

- SEDIMENT & BARRIER FENCES AREA PROPOSED AS PART OF SEC PLAN. DUE TO THE SITE SLOPE/GRADE IS FROM REAR TO FRONT, THEREFORE STOCKPILE & ENTRANCE NEEDS TO BE **CONTROLLED**
- 2. FILTER FENCE SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR SIMILAR) BETWEEN POSTS AT 3m CENTERS MAXIMUM. FABRIC SHALL BE BURIED INTO THE GROUND 200mm ALONG ITS LOWER EDGE.

## TEMPORARY SITE CONTROL FOR ENTRY / EXIT AREAS

- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADS.
- 2. PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE MAY BE REQUIRED TO KEEP THE SITE CONTROL IN A 'USEABLE STATE'.
- 3. ALL SEDIMENT SPILLED, DROPPED OR WASHED ONTO PUBLIC ROADS MUST BE REMOVED IMMEDIATELY AND CHECKED DAILY
- 4. REMOVAL AND CLEANING OF PUBLIC ROADS BY BROOMS AND SHOVELS ETC.. WASHING DOWN ROADS IS NOT PERMITTED.

## EROSION CONTROL MEASURES.

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES. (INCLUDING RE-VEGETATION AND STORAGE OF SOIL AND TOP SOIL), SHALL BE IMPLEMENTED TO THE DEPARTMENT OF CONSERVATION OF NEW SOUTH WALES STANDARDS.
- 2. TOPSOIL FROM ALL AREAS TO BE DISTURBED, SHALL BE STOCK PILED AND LATER RESPREAD TO AID VEGETATION.AS SHOWN IN C102
- 3. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE **DURING DEVELOPMENT.**
- 4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL PITS.
- 5. DISTURBANCE TO VEGETATION SHALL BE LIMITED TO FILL AREAS, ROADWAYS AND DRAINAGE LINES. AREAS OTHER THAN SPECIFIED SHALL BE DISTURBED ONLY WITH PRIOR APPROVAL FROM THE COUNCIL ENGINEER.
- 6. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 7. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOLID MATERIALS, INCLUDING DURING MAINTENANCE PERIOD. 8. A STRIP OF TURF BEHIND AND FOR TOTAL LENGTH OF ALL THE KERBS SHALL BE PROVIDED. 9. PIT GUARDS SHALL BE INSTALLED AROUND DRAINAGE PITS AT THE COMPLETION OF ROAD WORKS.

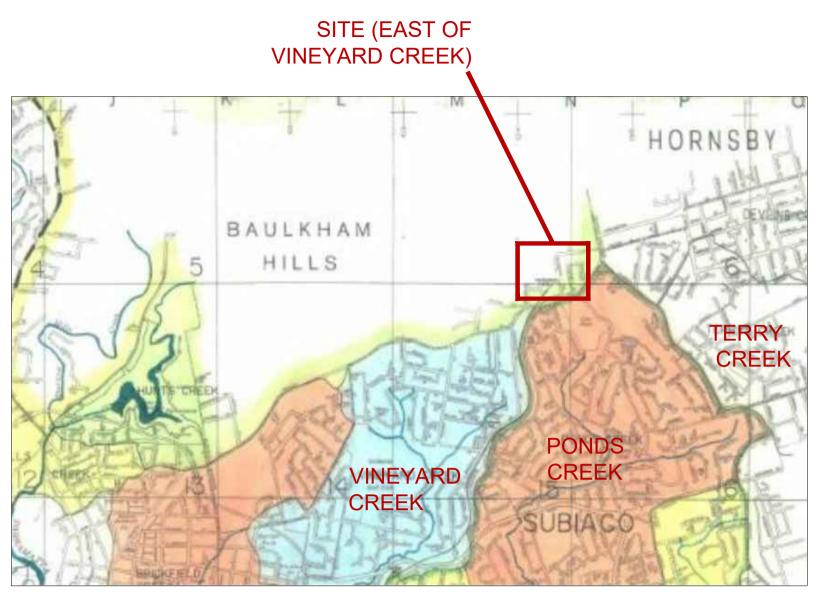


FIGURE-1 CATCHMENT PLAN (REF. COUNCIL GUIDELINES)

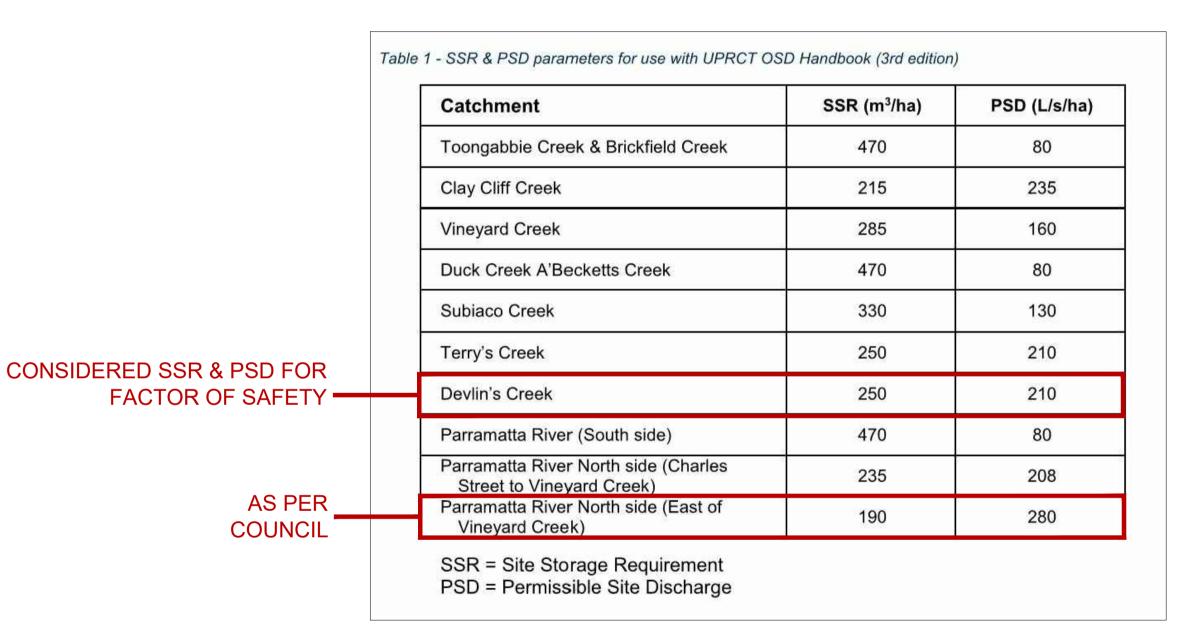
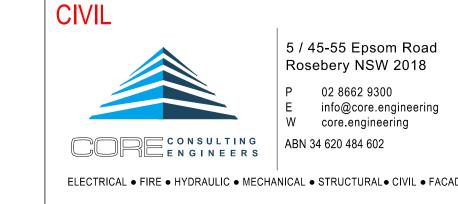


TABLE-1 SNIP OF SSR & PSD GUIDELINE REF: COUNCIL GUIDELINE

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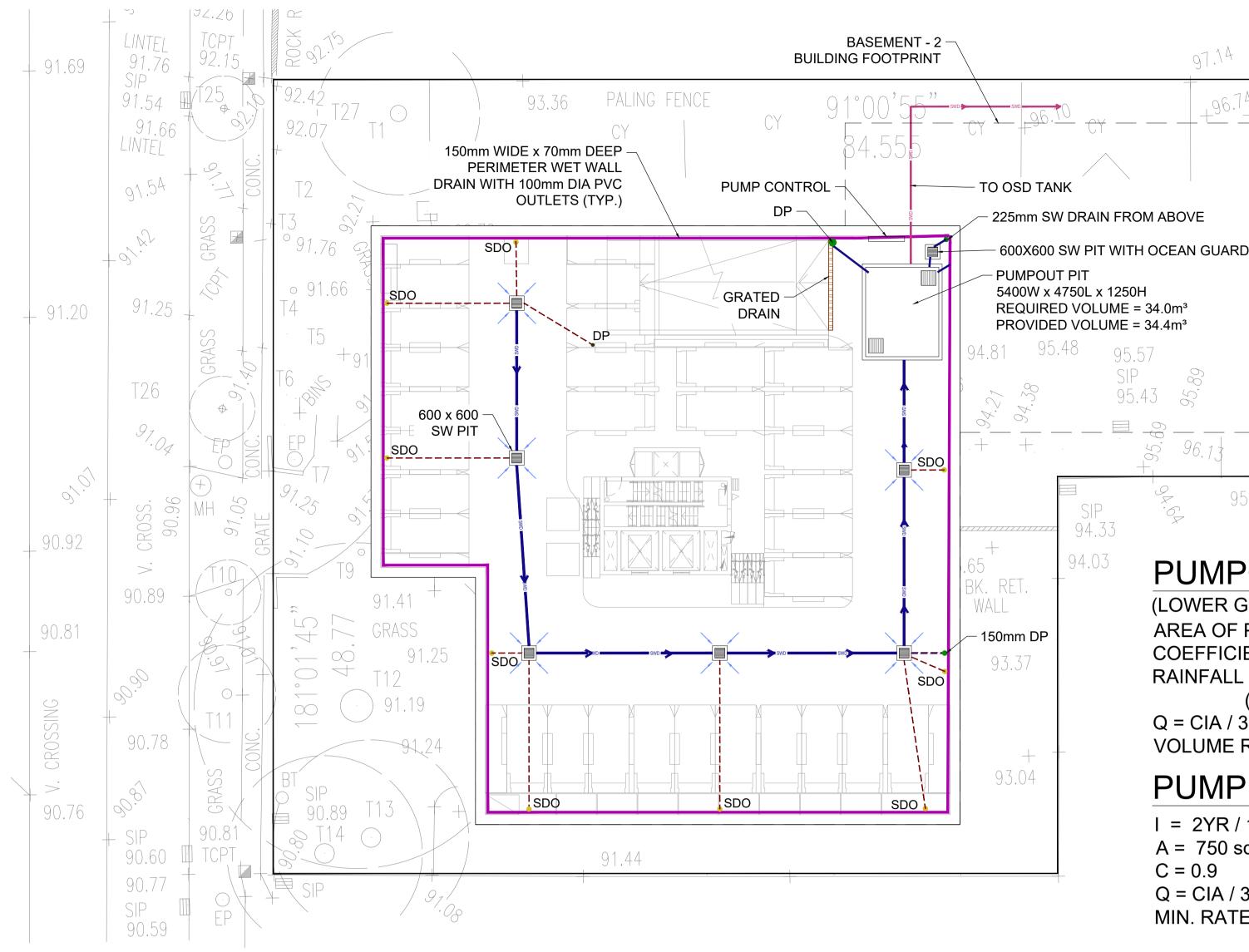


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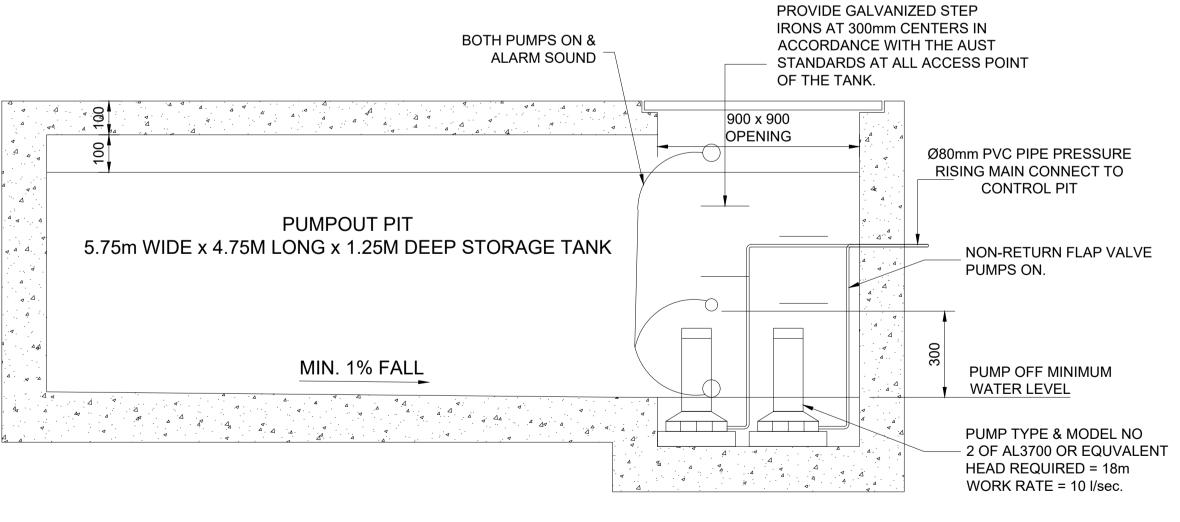
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Plotted by: Hasa

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## BASEMENT - 3 STORMWATER MANAGEMENT PLAN SCALE = 1:200



## PUMP STORAGE TANK DETAIL

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N.T.S

## PUMPOUT DESIGN SUMMARY

(LOWER GROUND LEVEL)

95.23

AREA OF PUMP OUT = 750 sgmCOEFFICIENT OF DISCHARGE = 0.9 RAINFALL INTENSITY (I) = 50.44 mm/hr

(100 Yr ARI FOR 2 HR)

Q = CIA / 3600 = 9.46 l/secVOLUME REQUIRED =  $9.46x60x60 / 1000 = 34 \text{ m}^3$ 

## PUMP OUT RATE

I = 2YR / 100 yr ARI = 50.44

A = 750 sqm

C = 0.9

Q = CIA / 3600 = 9.46 I / secMIN. RATE REQUIRED AS PER AS 3500.3 = 10 1/sec

## PUMP SELECTION

PUMPOUT RATE PROVIDED = 10 I / sec HEAD = 18m

PROVIDED 2 AUTO SUBMERSIBLE AL-3700 OPERATING SIMULTANEOUSLY AND PUMPING 10 1/sec TO OSD.



## PUMP & CONTROL LAYOUT SKEMATIC

## HYDRAULIC PERFORMANCE CURVE

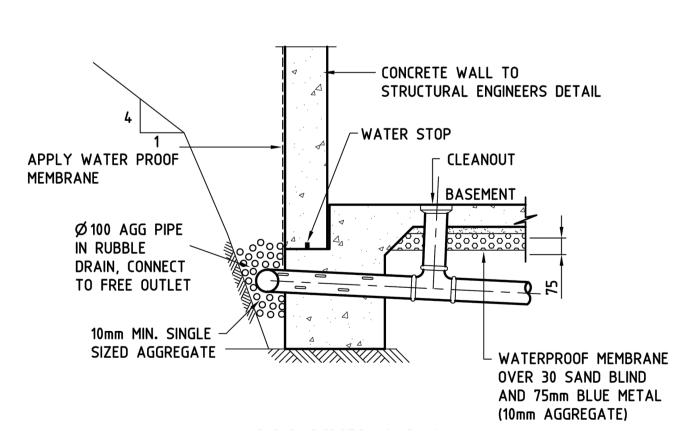
Model	Power		Outlet	Max. Flow	Max head	The max flow particle	Dim. (mm)	Weigh	nt (kg)	20 (Loading Qty)
Three Phase	kW	HP	(inch)	(m³/h)	(m)	(mm)	, , , , , , , , , , , , , , , , , , , ,	G.W	N.W	(pcs)
AL750	0.75	1	2	22	14	20	525x250x280	31	27	680
AL1500	1.5	2	2	31	18	20	585x245x300	40	36	570
AL2200	2.2	3	3	65	21	20	585x260x330	45	40	500
AL3700	3.7	5	3	78	24	30	370x325x680	71	65	250
AL5500	5.5	7.5	4	90	28.5	30	400x340x770	85	78	210
AL7500	7.5	10	4	108	35	30	400x340x770	91	84	190

PUMP CAPACITY

## STANDARD PUMP OUT DESIGN NOTES

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO BE OPERATED IN THE FOLLOWING MANNER:

- THE PUMP SHALL BE PROGRAMMED TO WORK ALTERNATIVELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
- A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AN OFF SWITCH FOR THE PUMPS.
- A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE TANK TO THE LEVEL OF THE LOW-LEVEL FLOAT
- A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM. IT WILL BE 100mm ABOVE THE INLET PIPE.
- AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



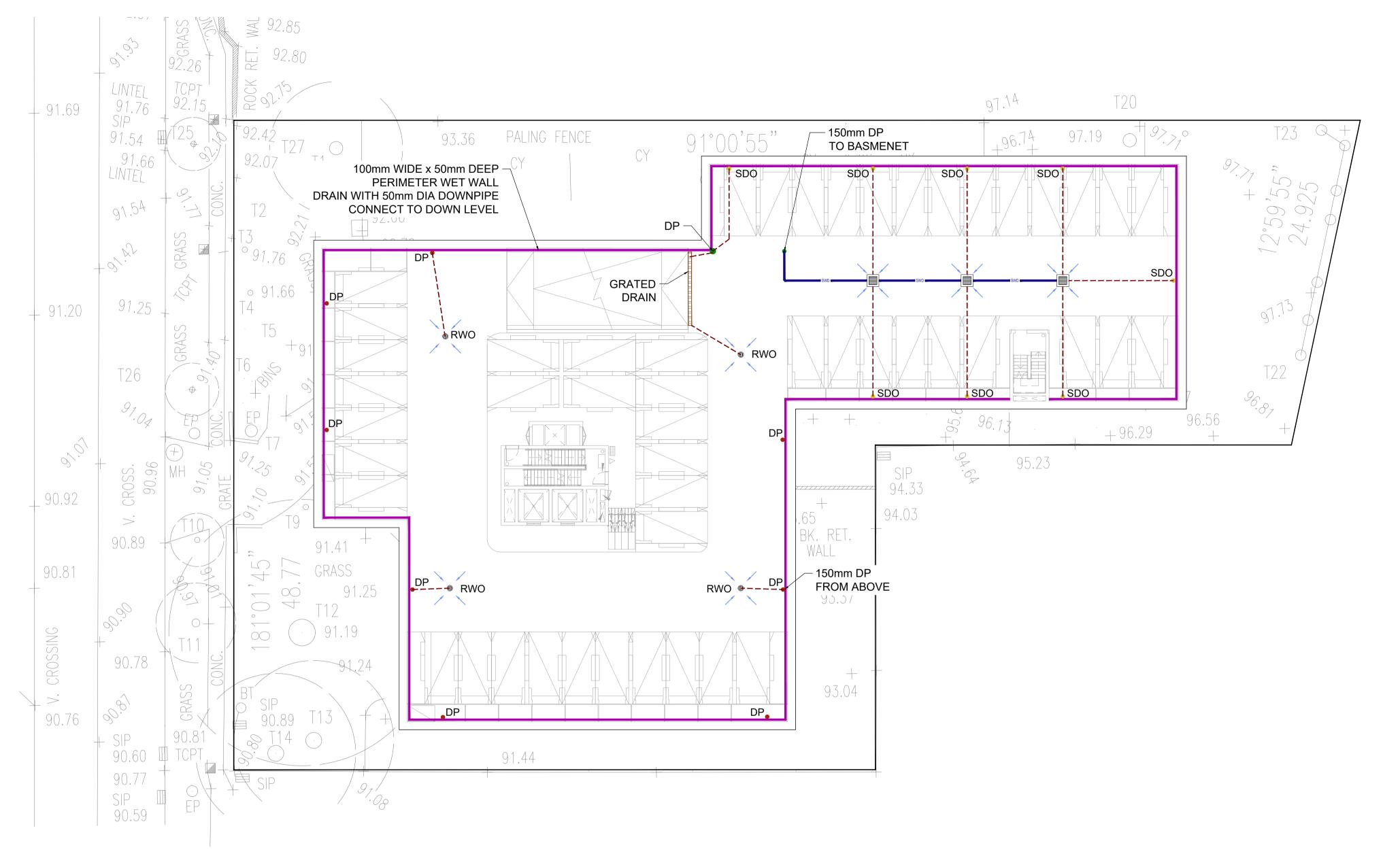
## TYP. BASEMENT SECTION

Plotted by: Hasar

## **LEGEND** 150mm WIDE x 70mm DEEP PERIMETER WET WALL DRAIN Ø 150 UPVC MIN. 1% FALL Ø 100 UPVC Ø 150 UPVC **GRATED DRAIN** 600 x 600 SW PIT (TYP.) SDO 🛑 SPOON DRAIN OUTLET DOWNPIPE DP 🛑

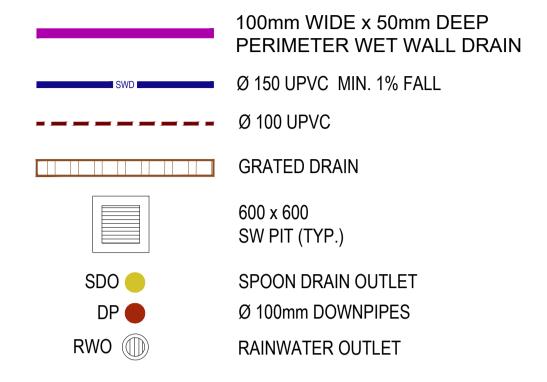
## ISSUE FOR DA

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BASEMENT - 2 STORMWATER MANAGEMENT PLAN SCALE = 1:200

## LEGEND



## NOTES:

- 1. ALL DOWNPIPES (DP) ARE TO BE CONNECTED WITH ASSOCIATED PITS.
- 2. ALL SW PIPES & RWO ARE CONNECTING TO DRAINAGE NETWORK AS SHOWN
- 3. DOWNPIPES ARE DOCUMENTED AS PER HYDRAULIC ENGINEER MARKUP
- 4. ALL SUB SURFACE PIPE NETWORK SHOULD BE INSTALLED AS PER AS 3500.3 WITH MIN. 1% FALL OR MENTIONED OTHERWISE.
- 5. ALL BASEMENT WALL SHOULD HAVE ADEQUATE AGLINE IN ACCORDANCE WITH AS 3500.3.

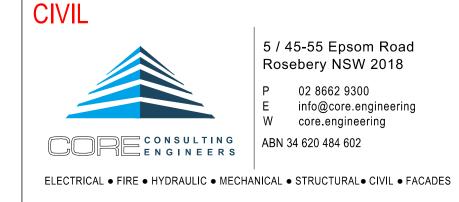
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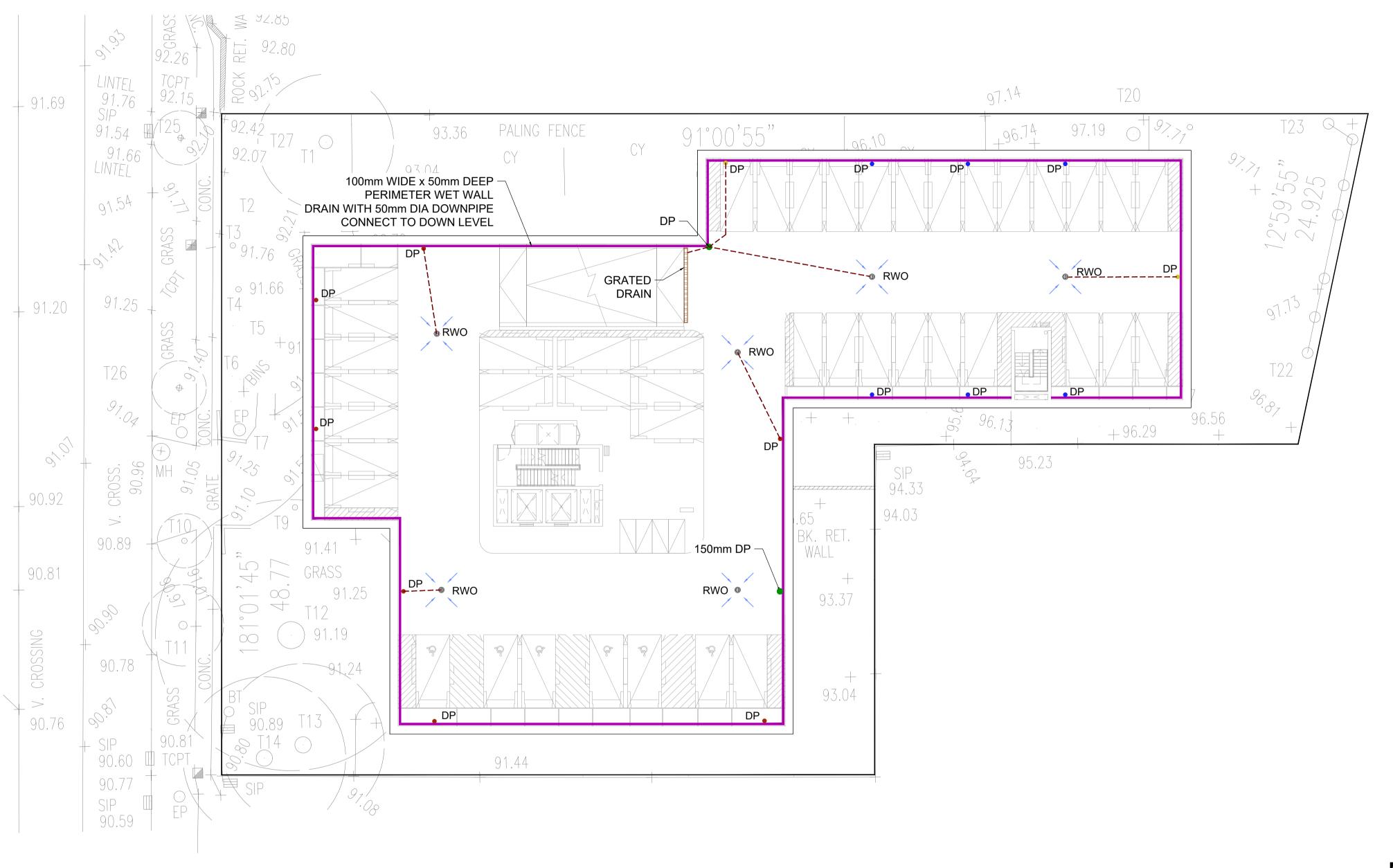
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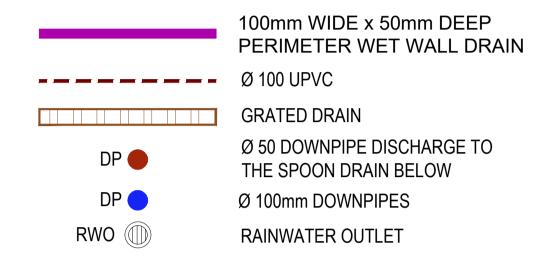
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## LEGEND



# BASEMENT-1 STORMWATER MANAGEMENT PLAN SCALE = 1:200

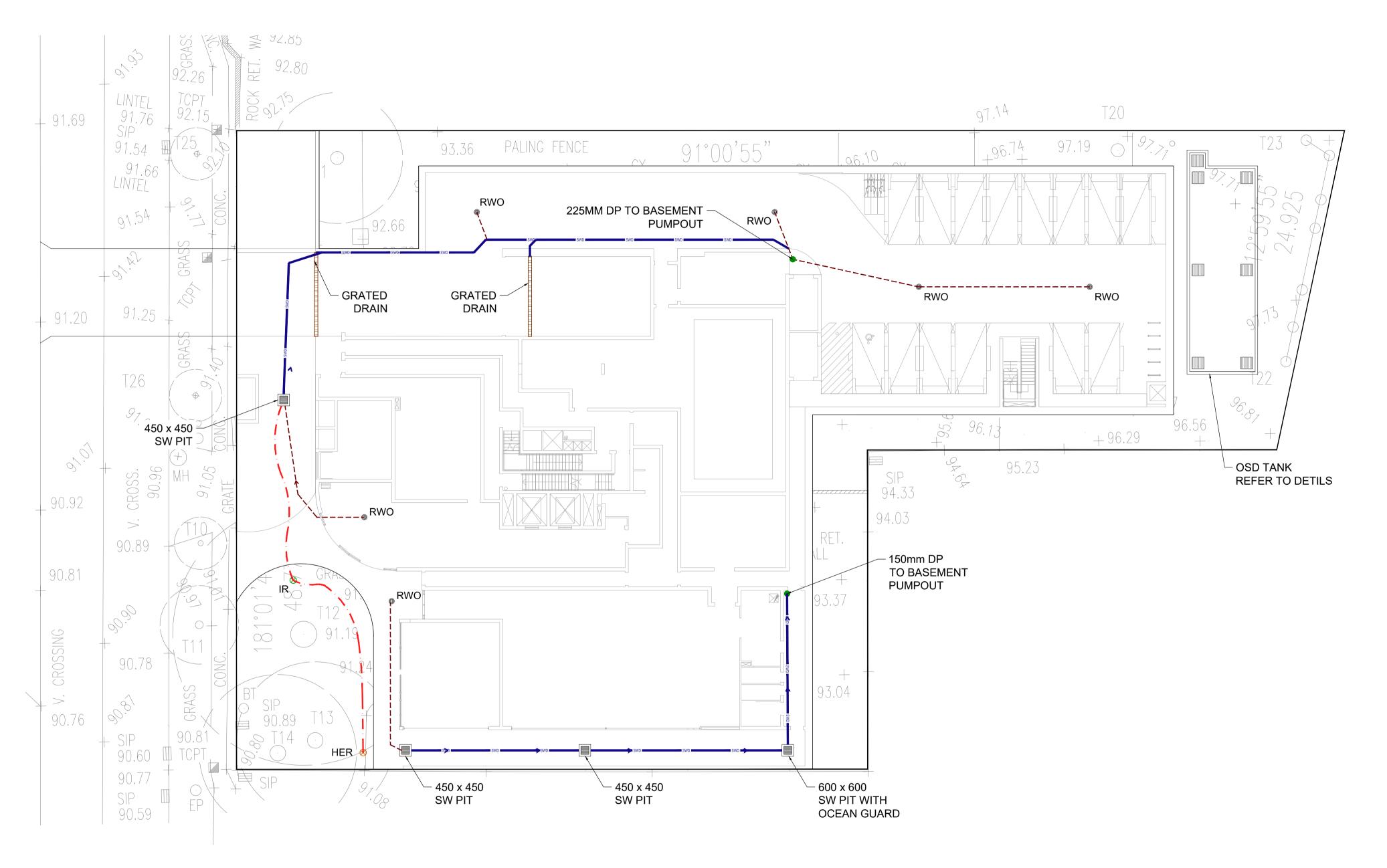
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## NOTES:

- 1. ALL DOWNPIPES (DP) ARE TO BE CONNECTED WITH ASSOCIATED PITS.
- 2. ALL SW PIPES & RWO ARE CONNECTING TO DRAINAGE NETWORK AS SHOWN
- 3. DOWNPIPES ARE AS PER HYDRAULIC ENGINEER MARKUP
- 4. ALL SUBSURFACE PIPE NETWORK SHOULD BE INSTALLED AS PER AS 3500.3 WITH MIN. 1% FALL OR MENTIONED OTHERWISE.
- 5. ALL BASEMENT WALL SHOULD HAVE ADEQUATE AGLINE IN ACCORDANCE WITH AS 3500.3.

## ISSUE FOR DA

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GROUND FLOOR STORMWATER MANAGEMENT PLAN SCALE = 1:200

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# LINE

Ø 150 UPVC MIN. 1% FALL Ø100 SUBSOIL DRAINAGE LINE- (AGI LINE)

LEGEND

GRATED DRAIN



600 x 600 SW PIT (TYP.)



RAINWATER OUTLET



INTERMEDIATE RISER



HIGH END RISER

## NOTES:

- 1. ALL DOWNPIPES (DP) ARE TO BE CONNECTED WITH ASSOCIATED PITS.
- 2. ALL SW PIPES & RWO ARE CONNECTING TO DRAINAGE NETWORK AS SHOWN
- 3. DOWNPIPES ARE AS PER HYDRAULIC ENGINEER MARKUP

DRAWING TITLE :

PROJECT:

4. ALL SUBSURFACE PIPE NETWORK SHOULD BE INSTALLED AS PER AS 3500.3 WITH MIN. 1% FALL OR MENTIONED OTHERWISE.

GROUND FLOOR STORMWATER

9-11 THALLON STREET

**CARLINGFORD NSW 2118** 

MANAGEMENT PLAN

5. ALL BASEMENT WALL SHOULD HAVE ADEQUATE AGLINE IN ACCORDANCE WITH AS 3500.3.

## ISSUE FOR DA

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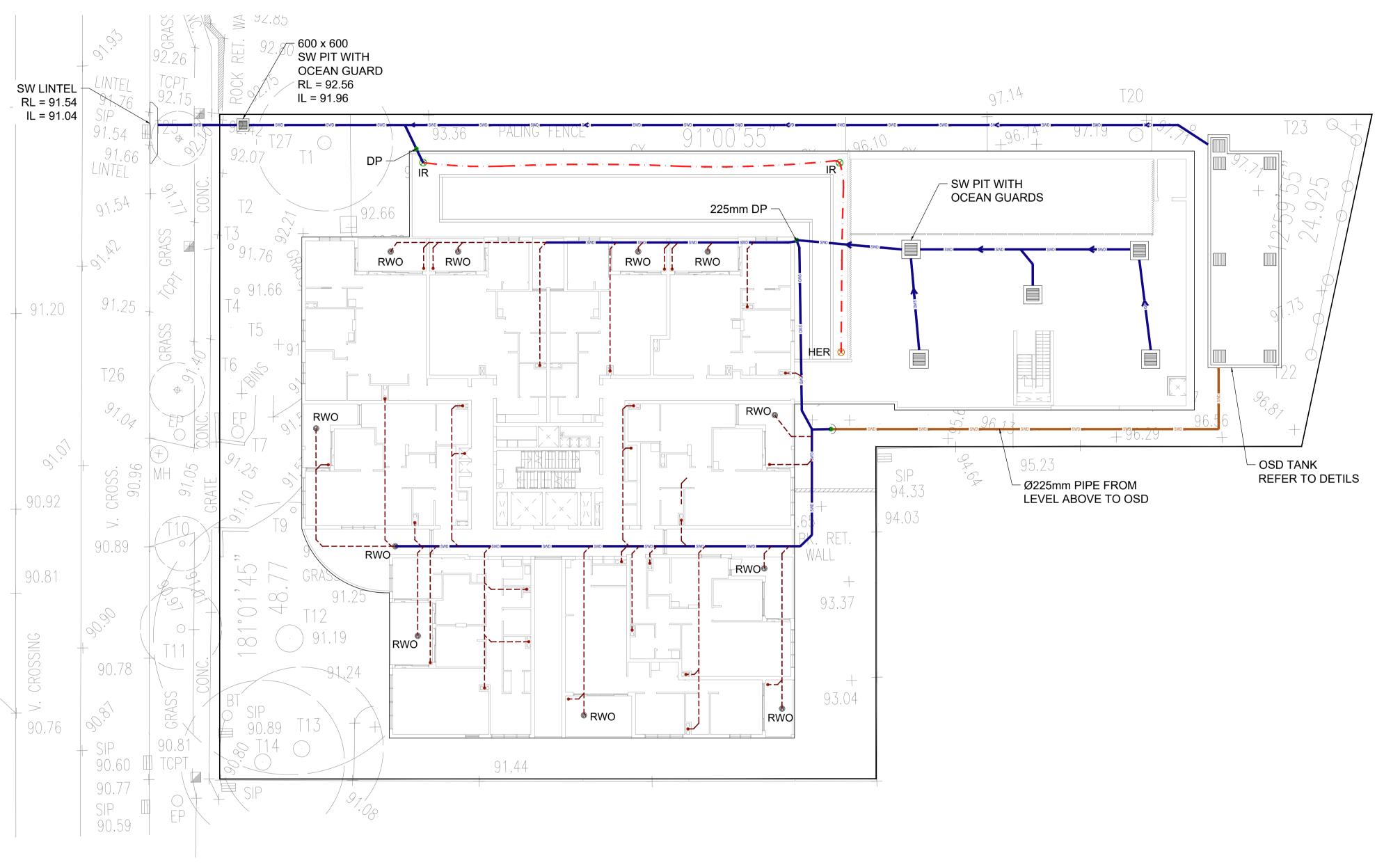
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							drawing. The contractor sha shall be read in conjunction	all refer any discrepancies to the engineer before proceeding with the work. This drawn with other contract documents, drawings and project specifications. This file has be	wing en
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LEVEL-01 STORMWATER MANAGEMENT PLAN

SCALE = 1:200

## NOTES:

**LEGEND** 

RWO

 $\mathsf{IR} igotimes$ 

HER 🚫

Ø 225 UPVC MIN. 0.5% FALL

Ø 150 UPVC MIN. 1% FALL

LINE- (AGI LINE)

RAINWATER OUTLET

HIGH END RISER

INTERMEDIATE RISER

Ø 100 UPVC

600 x 600

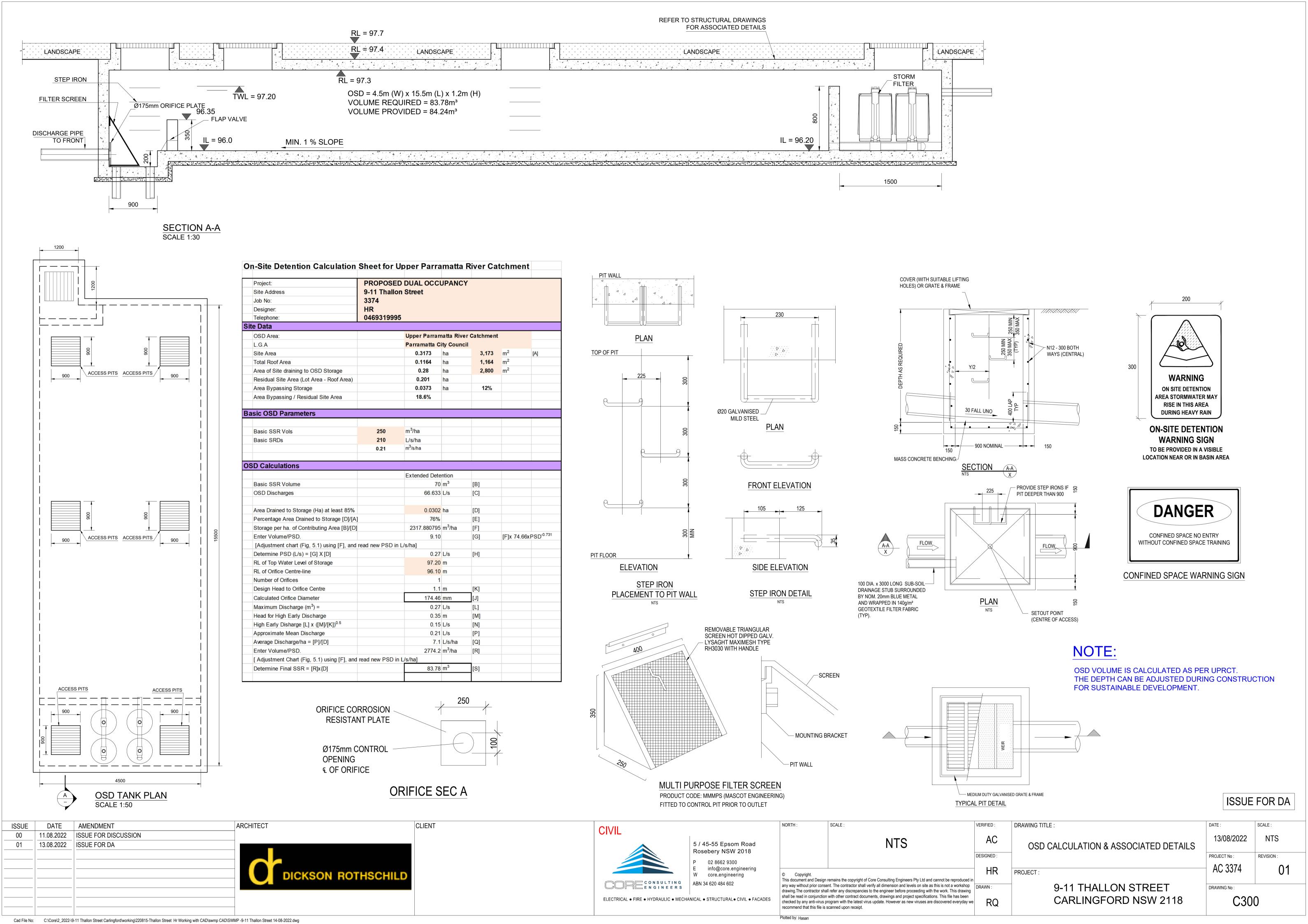
SW PIT (TYP.)

Ø100 SUBSOIL DRAINAGE

- 1. ALL DOWNPIPES (DP) ARE TO BE CONNECTED WITH ASSOCIATED PITS.
- 2. ALL SW PIPES & RWO CONNECTING TO DRAINAGE NETWORK AS SHOWN
- 3. DOWNPIPES ARE DOCUMENTED AS PER HYDRAULIC ENGINEER MARKUP
- 4. ALL SUBSURFACE PIPE NETWORK SHOULD BE INSTALLED AS PER AS 3500.3 WITH MIN. 1% FALL OR MENTIONED OTHERWISE.
- 5. LEVEL 1 DRAINAGE IS ONLY DISCHARGED TO OSD VIA PUMP OUT PIT.
- 6. LEVEL-2 & ABOVE ARE DRAINED TO OSD DIRECTLY Ø225mm IS SHOWN FOR REFERENCE ONLY.

## ISSUE FOR DA

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						Rosebery NSW 2018		SCALE 1:200	DESIGNED :	MANAGEMENT PLAN	PROJECT No :	REVISION:
						P 02 8662 9300					AC 3374	04
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								my discrepancies to the engineer before proceeding with the work. This drawing the contract documents, drawings and project specifications. This file has been	DIVIVII .			
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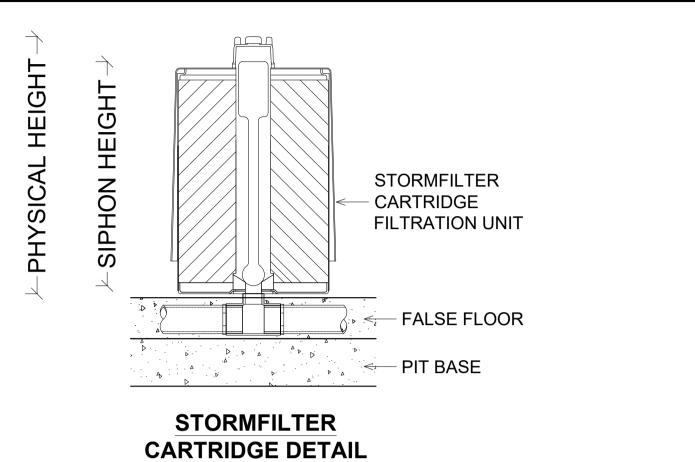


### STORMFILTER WSUD CARTRIDGE DETAILS

- STORMFILTER TREATMENT CAPACITY VARIES BY NUMBER OF FILTER CARTRIDGES INSTALLED.
- THE STANDARD CONFIGURATION IS SHOWN. ACTUAL CONFIGURATION OF THE SPECIFIED STRUCTURE(S) PER CERTIFYING ENGINEER WILL BE SHOWN ON SUBMITTAL DRAWING(S). • FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL

MEDIA DEPTH SHALL BE 178mm.			
CARTRIDGE NAME / SIPHON HEIGHT (mm)	690	460	310
OADTDIDGE DIIVOIGAL LIFIGUT (******)	0.40	000	000

CARTRIDGE NAME / SIPHON HEIGHT (mm)	690	460	310
CARTRIDGE PHYSICAL HEIGHT (mm)	840	600	600
TYPICAL WEIR HEIGHT [H] (mm)	920	690	540
CARTRIDGE FLOW RATE FOR ZPG MEDIA (L/s)	1.6	1.1	0.7
CARTRIDGE FLOW RATE FOR PSORB MEDIA (L/s)	0.9	0.46	0.39



#### STORMFILTER CARTRIDGE NOTES

- 1. A HIGH FLOW BYPASS ARRANGEMENT OR DISSIPATION STRUCTURE MAY BE REQUIRED TO MINIMISE RE-SUSPENSION OF SOLIDS OR ANY SIGNIFICANT INERTIAL FORCES ON THE CARTRIDGES.
- 2. ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
- 3. SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
- 4. THE INVERT LEVEL OF THE INLET PIPE MUST BE GREATER THAN THE RL OF THE FALSE FLOOR WITHIN THE CARTRIDGE CHAMBER.
- 5. CONCRETE STRUCTURE AND ACCESS COVERS DESIGNED AND PROVIDED BY OTHERS. ACCESS COVERS TO BE A MINIMUM 900 X 900 ABOVE CARTRIDGES. OH&S REGARDING ACCESS COVERS AND TANK ACCESS TO BE ASSESSED BY OTHERS ON SITE.
- 6. THE STRUCTURE THICKNESSES SHOWN ARE FOR REPRESENTATIONAL PURPOSES.
- 7. REFER TO MANUFACTURER SPECIFICATION FOR DETAILS.

INSTALLATION NOTES

UNDERDRAIN AND FALSE FLOOR INSTALLED BY MANUFACTURER.

## CARTRIDGE UTILISED FOR POLLUTANT CONTROL (MANUFACTURER SPECS)

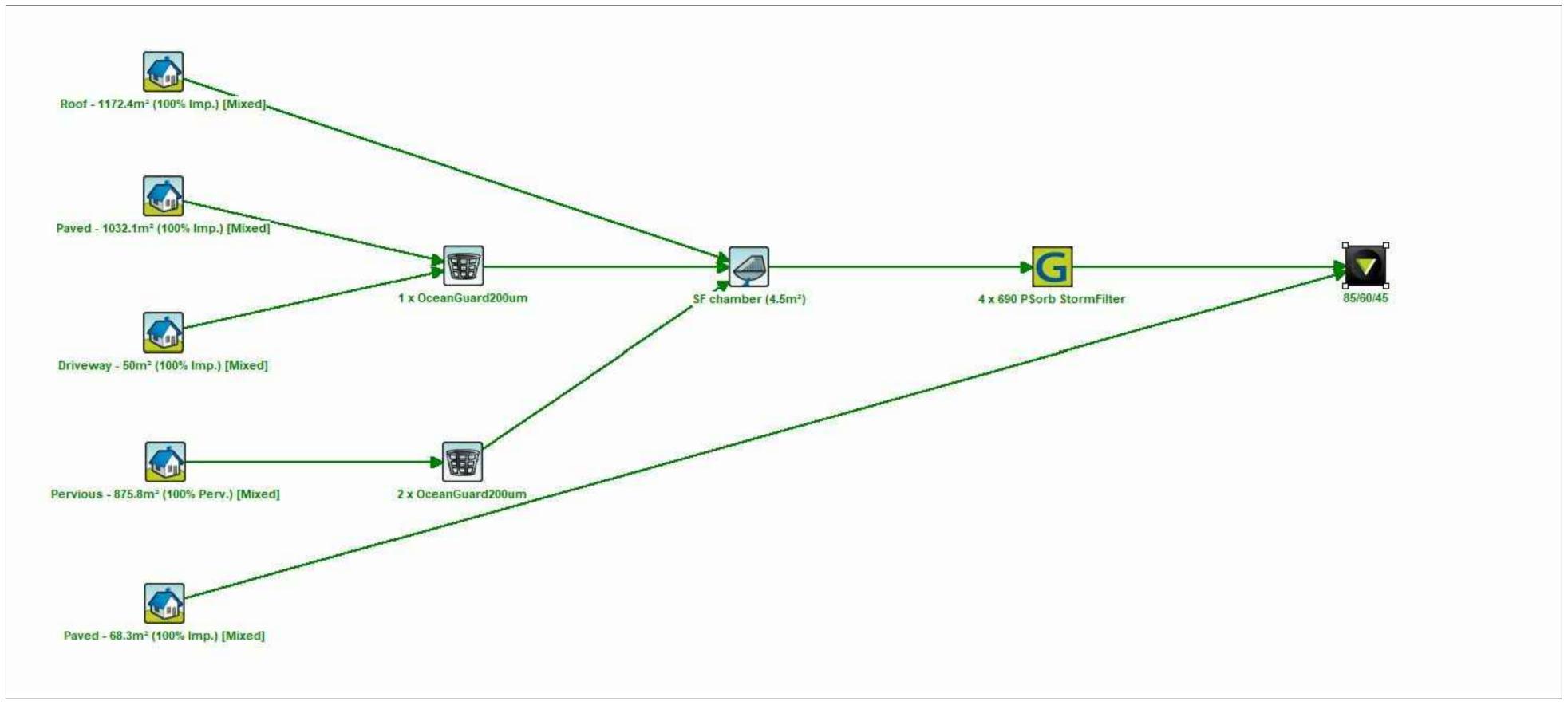
Table 3.3.6.1.1 Stormwater Treatment Targets for Development

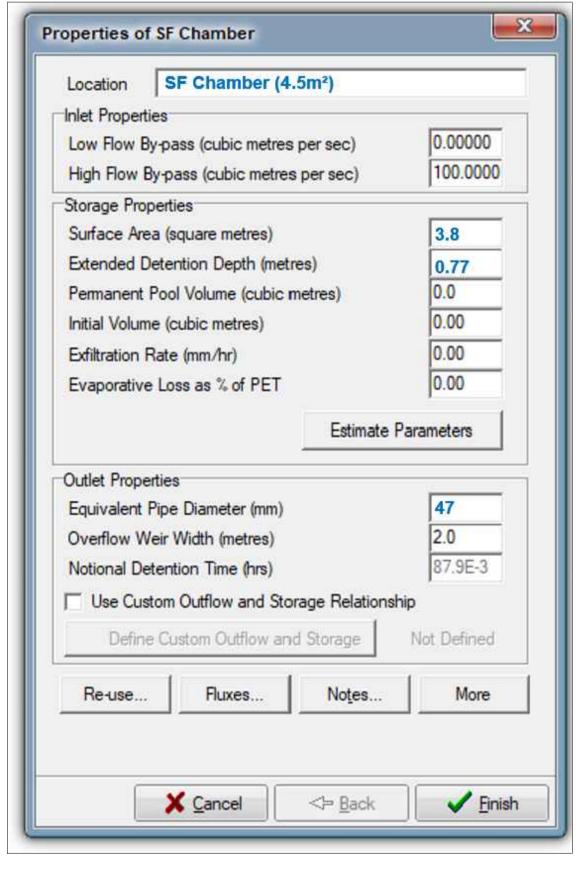
Pollutant	Performance Target reduction loads
Gross Pollutants	90% reduction in the post development mean annual load of total gross pollutant load (greater than 5mm)
Total Suspended Solids	85% reduction in the post development mean annual load of Total Suspended Solids (TSS)
Total Phosphorus	60% reduction in the post development mean annual load of Total Phosphorus (TP)
Total Nitrogen	45% reduction in the post development mean annual load of Total Nitrogen (TN)

## COUNCIL TREATMENT TARGETS

ISSUE	DATE	AMENDMENT	ARCHITECT	CLIENT
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01	13.08.2022	ISSUE FOR DA		
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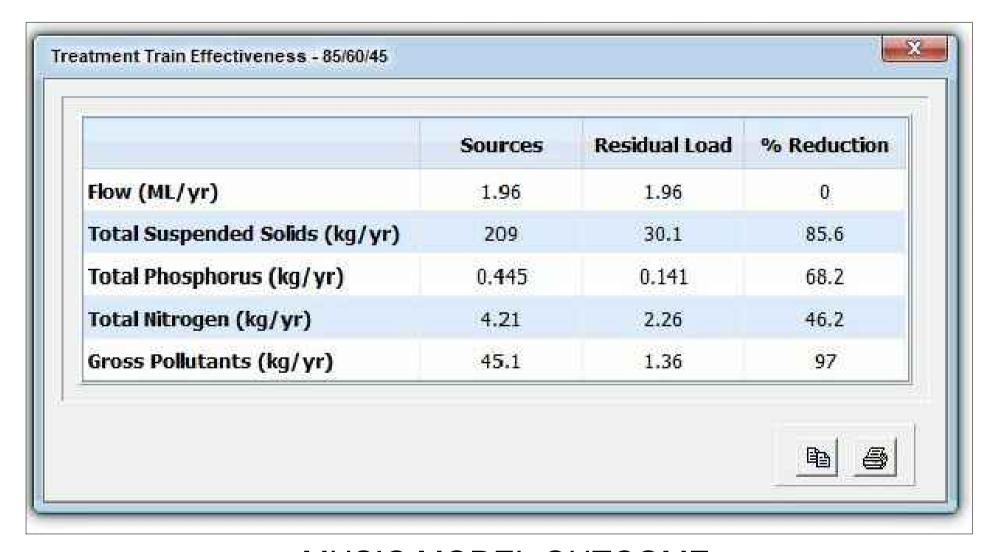
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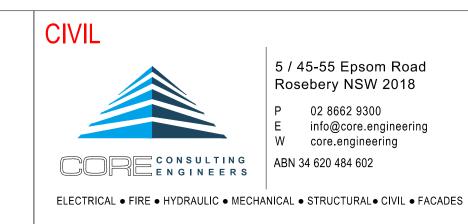
WSUD CHAMBER DETAILS

## MUSIC MODEL SIMULATION



MUSIC MODEL OUTCOME

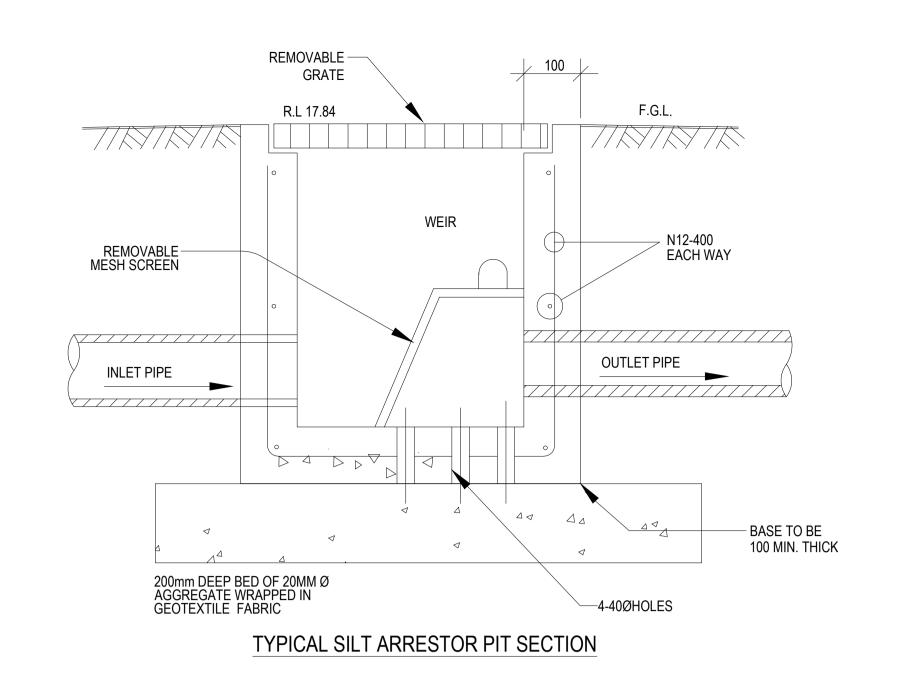
## ISSUE FOR DA

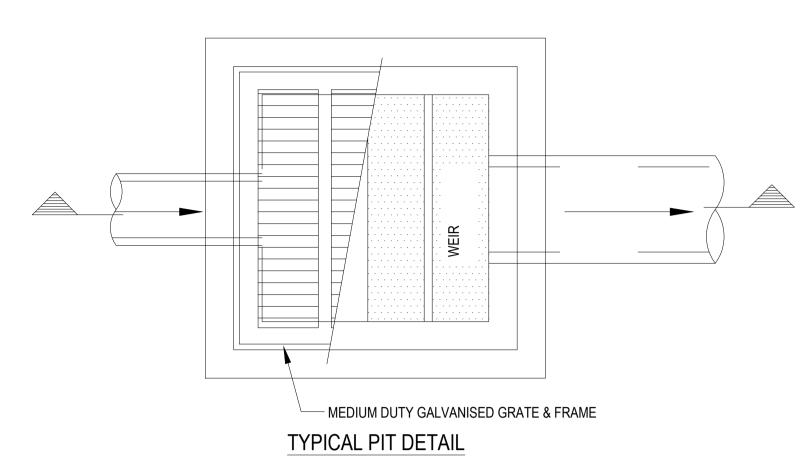


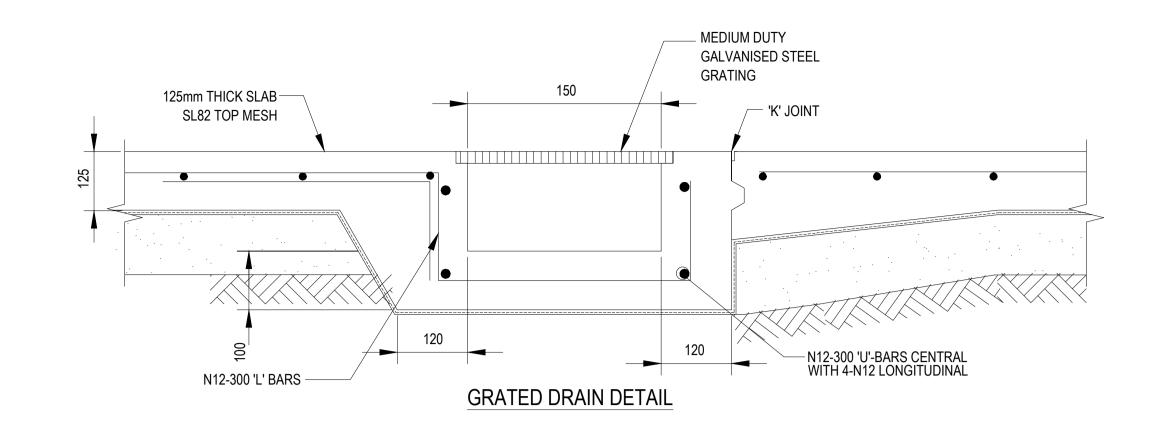
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	NTS	AC	MUSIC MODEL OUTCOME & WSUD DETAILS
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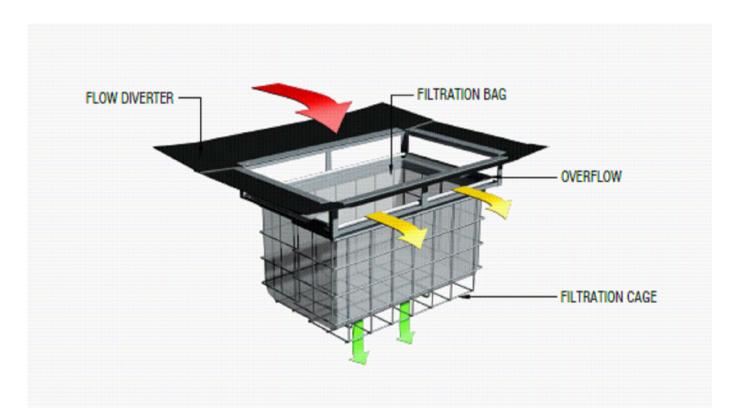






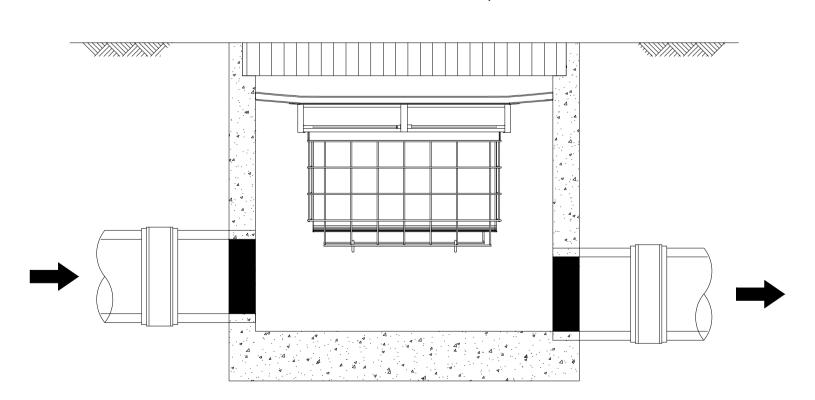
100. DIA UPVC PIPE – ALL CONNECTIONS TO BE FULLY SEALED

TYPICAL INSPECTION I/O

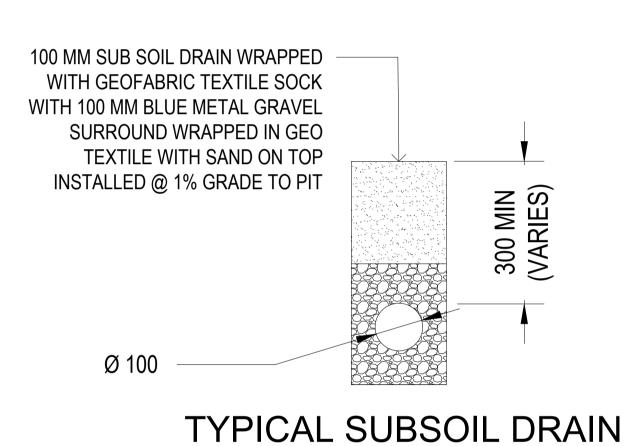


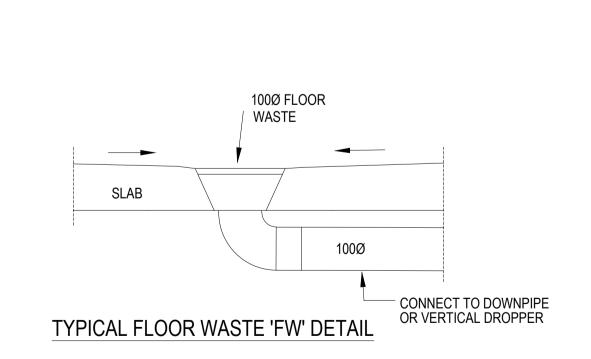


**EXISTING PIT TAKING** STORMWATER FROM GRATE)

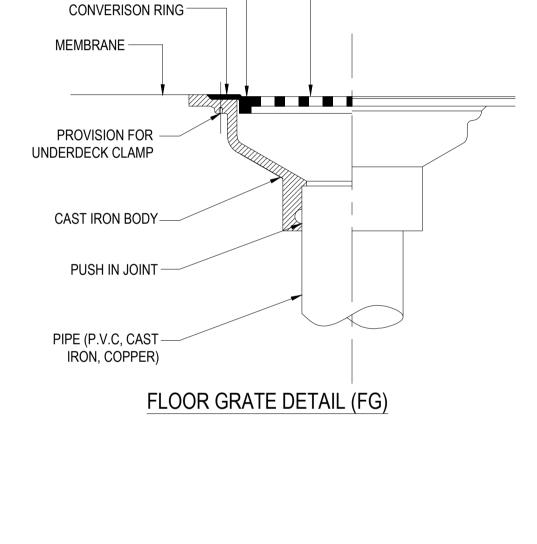


PIPE FLOW CONFIGURATION





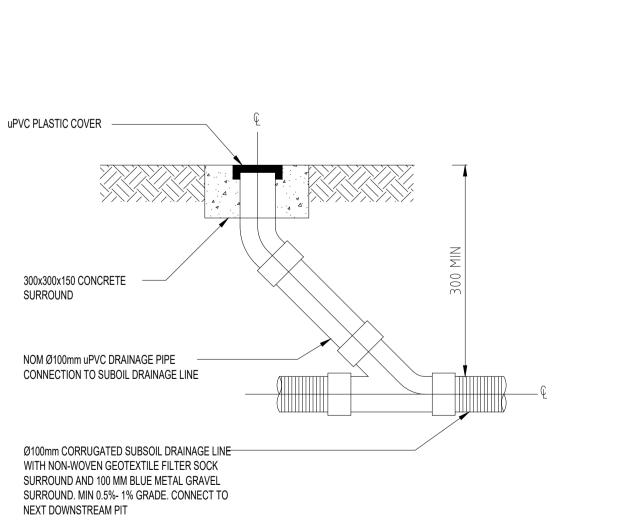
SECTION

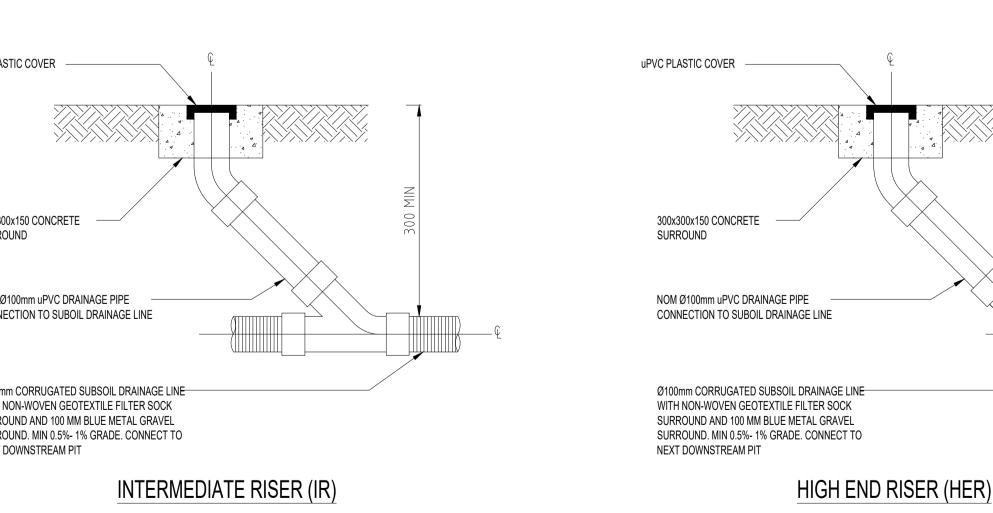


CAST IRON GRATE

CLAMP RING-

Plotted by: Hasan





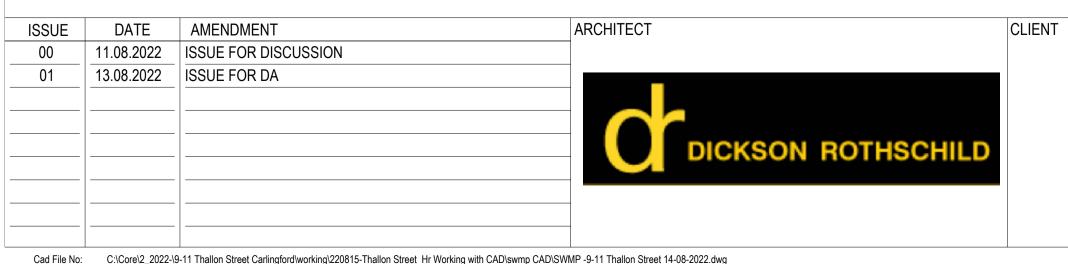
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FULLY SEALED EXTERIOR

- GRADE OR PAVEMENT

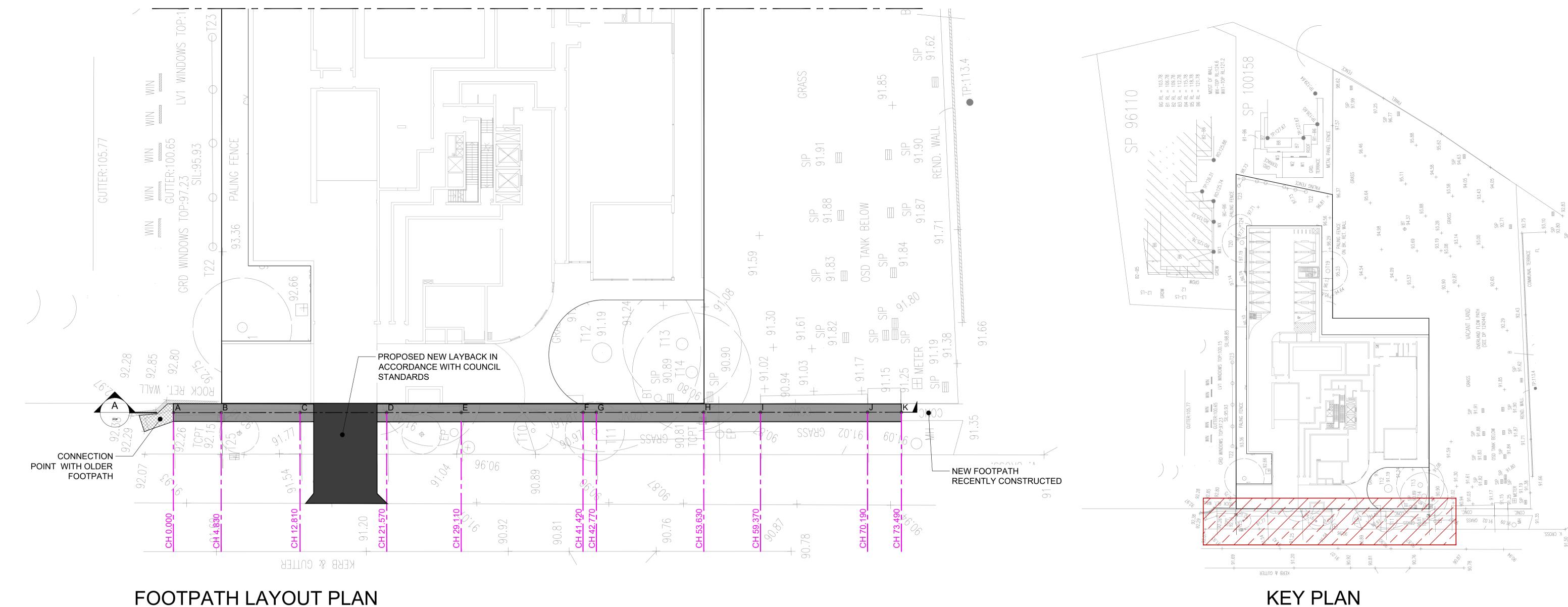
CLEANOUT/IO

- 300 X 300 X 150 CONCRETE PAD



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FOOTPATH LAYOUT PLAN SCALE = 1:200

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## NOTES:

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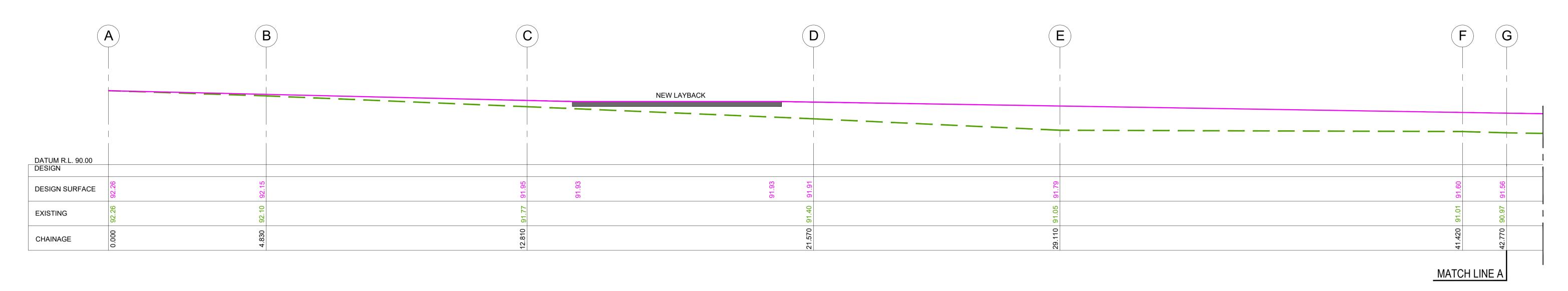
- 1. THIS PROFILE IS DRAWN FOR COUNCIL COMMENTS AND SUBMISSION AND SUBJECT TO COUNCIL APPORVAL.
- 2. ALL EXISTING SERVICES ARE TO BE PRESERVED AND ADJUSTED TO SUIT THE NEW FOOTPATH.
- 3. THE PROPOSED FOOTPATH IS CONSTRUCTED AFTER REMOVING THE EXISTING FOOTPATH AND SHOULD BE ACCOMMODATING THE NEW VEHICULAR LAYBACK.
- 4. THE ROAD INFRASTRUCTURE IN THIS AREA IS NEW AND WE ANTICIPATE THAT THE EXISTING ROAD LEVELS ARE ADEQUATE AND THEREFORE ASSOCIATED BM AND RLS, ADVISED IN THE SURVEY, ARE UTILISED TO DRAW THIS PROFILE.

SCALE = 1:500

- 5. THE NEW FOOTPATH IS PROPOSED TO BE CONNECTED WITH BOTH EXISTING FOOTPATH OF THE NEIGHBORING PROPERTY (UPSTREAM)AND NEW FOOTPATH CONSTRUCTED WITH THE PUBLIC RESERVE (DOWNSTREAM). 6. THE ALIGNMENT AND LOCATION OF THE NEW FOOTPATH IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NEWLY
- CONSTRUCTED FOOTPATH NEXT TO THE PUBLIC RESERVE. 7. THE WORKS ARE TO BE CONSTRUCTED BY A LICENSED BUILDER AND ROAD OPENING PERMIT SHOULD BE TAKEN PRIOR TO ANY WORKS ON PUBLIC DOMAIN WORKS.
- 8. OTHER THAN THE PROVIDED INFORMATION COUNCIL STANDARD DETAILS, AS ILLUSTRATED IN THIS PACKAGE, SHALL BE REVIEWED AND EVALUATED DURING CONSTRUCTION.
- 9. COUNCIL IS REQUESTED TO REVIEW AND ADVISE, IN CONDITION OF CONSENT, IF ANY ADDITIONAL SURVEY OF SERVICES, POT HOLING AND SPECIFIC LEVEL COMPLIANCE IS TO BE DONE FOR THE PROPOSED FOOTPATH PIROR TO CONSTRUCTION ON SITE.

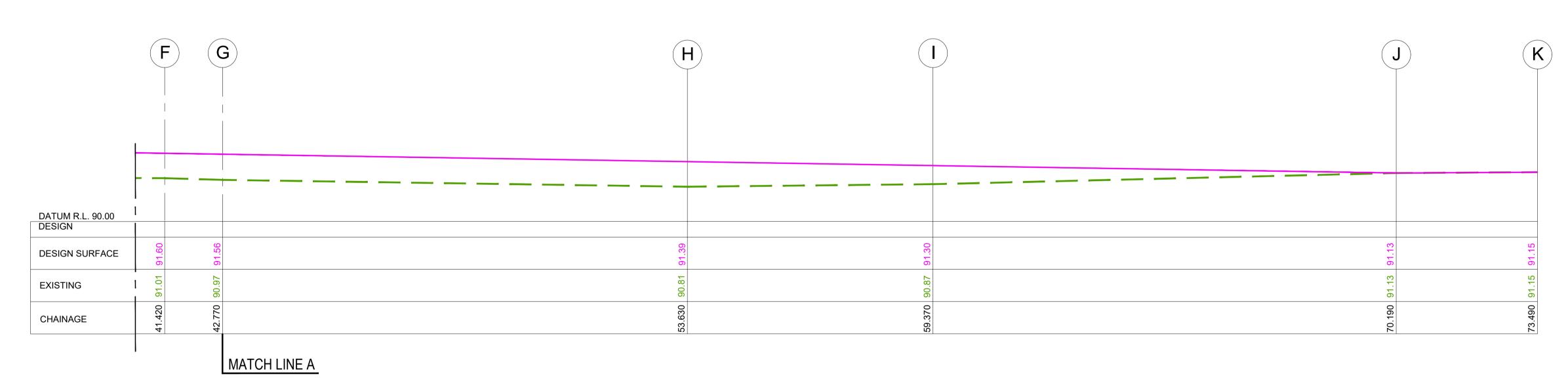
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						Rosebery NSW 2018		SCALE 1:200	DESIGNED :		PROJECT No :	REVISION:
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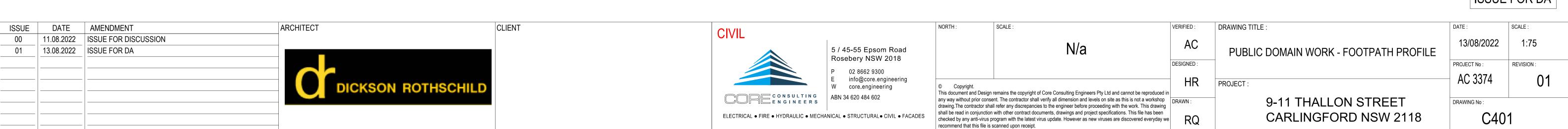
## EXISTING & PROPOSED DRIVEWAY SECTION A-A

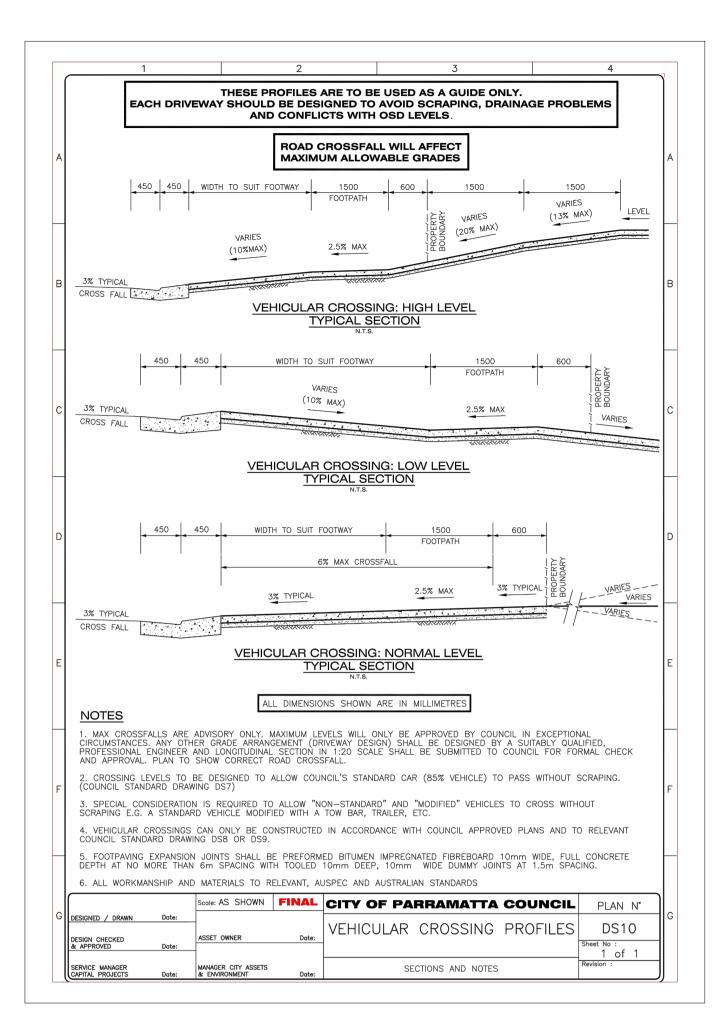
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## CONT. EXISTING & PROPOSED DRIVEWAY SECTION A-A

## ISSUE FOR DA





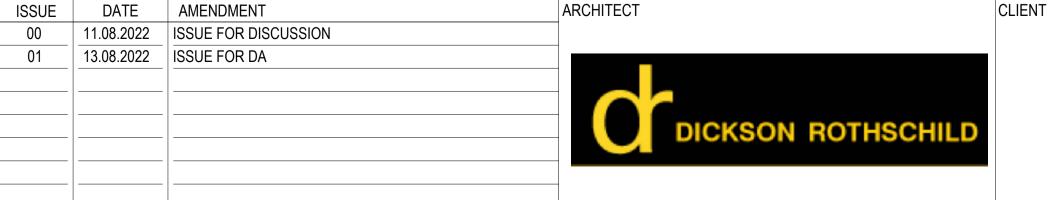
# VECHICULAR CROSSING PROFILE SOURCE: COUNCIL DS10

Verge Width		Footpath Width			
less than 2m all other widths		full width concrete footpath			
		1.5 concrete footpath			
R3 & F	R4 Residential Zones				
Verge	Width	Footpath Width full width concrete footpath			
less th	nan 2m				
2.0-3.0	)m	1.5m concrete footpath			
all oth	er widths	1.8m concrete footpath			
•	street as much a	are to be consistent along any given s practicable. This may result in minor			
•	Footpath widths	are to be consistent along any given			
	street as much a variations to the negotiated with 0 New footpaths sh	s practicable. This may result in minor above prescriptions and should be			
•	street as much a variations to the negotiated with 0 New footpaths shoundary line for unachievable bed constraints. Whe	s practicable. This may result in minor above prescriptions and should be council.			

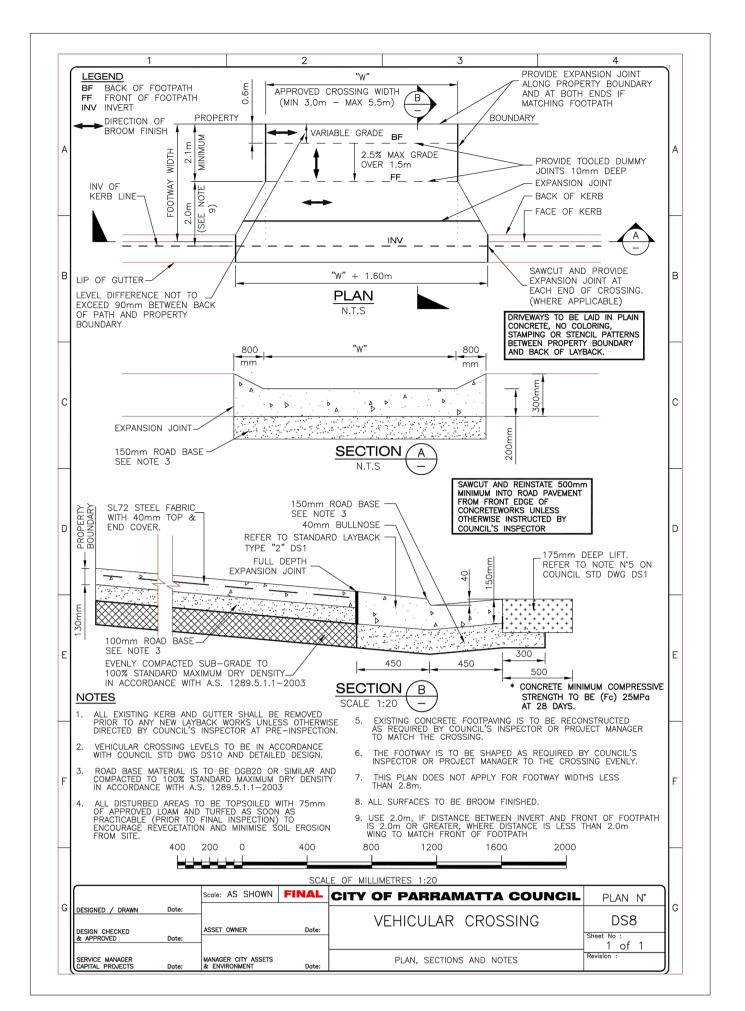
FOOTPATH GUIDELINES SOURCE: THESE DETAILS ARE TAKEN FROM PARRAMATA COUNCIL GUIDELINES FOR PUBLIC DOMAIN WORKS (2017)

# FOOTPATH WIDTH

SOURCE: COUNCIL POLICY



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# VECHICULAR CROSSING SOURCE: COUNCIL DS8

NOMINAL KERB LINE
AND FACE OF KERB

150
40

R5

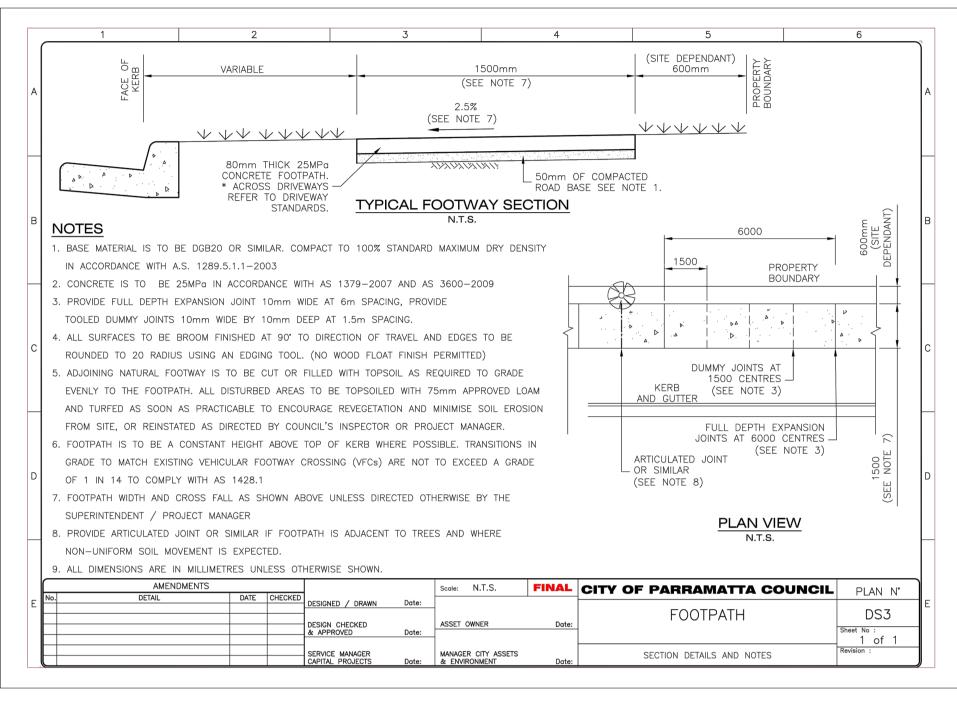
R5

R5

A50

A50

LAYBACK

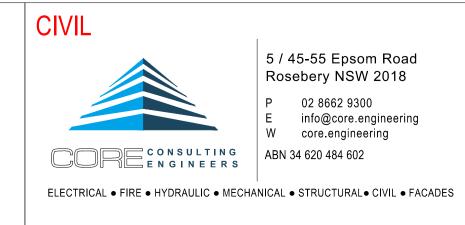


# FOOTPATH PROFILE SOURCE: COUNCIL DS3

## NOTE:

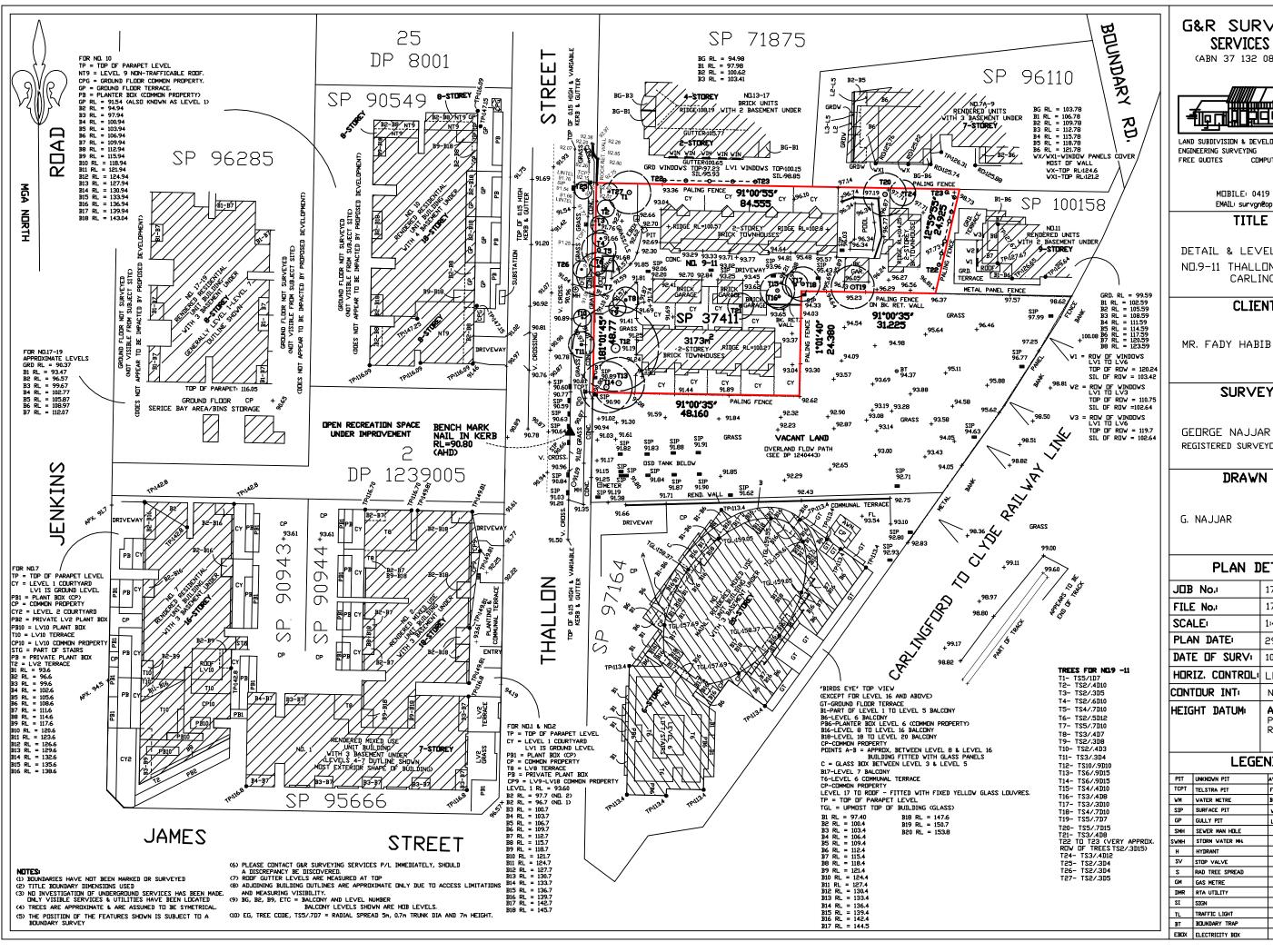
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(ABN 37 132 081 755)



LAND SUBDIVISION & DEVELOPMENT COMPUTER PLOTTING

> MDBILE: 0419 606 537 EMAIL: survgn@optusnet.com.au

#### TITLE

DETAIL & LEVEL SURVEY NO.9-11 THALLON STREET CARLINGFORD

#### CLIENT

#### SURVEYOR

REGISTERED SURVEYOR

#### DRAWN BY

#### PLAN DETAILS

J□B No.:	1767					
FILE No.	1761-1.DWG					
SCALE	1:400 (A1)					
PLAN DATE:	29/11/2021					
DATE OF SURV	10/11/2021					
HORIZ. CONTROL:	LOCAL					
CONTOUR INT:	N/A					
HEIGHT DATUM:	<b>AHD</b> PM 31140 RL=106.355					

#### LEGEND

PIT	UNKNOWN PIT	AV	AIR VENT
TCPT	TELSTRA PIT	FL	FLOOR LEVEL
VM	VATER METRE	BM	BENCH MARK
SIP	SURFACE PIT	٧	VINDOV
GP	GULLY PIT	LS	LANDSCAPING
SMH	SEWER MAN HOLE		
NMWZ	STORM VATER MH.		
Н	HYDRANT		
SV	STOP VALVE		
S	RAD TREE SPREAD		
GM	GAS METRE		
DMR	RTA UTILITY		
12	SIGN		
TL	TRAFFIC LIGHT		
BT	BOUNDARY TRAP		
EBOX	ELECTRICITY BOX		